

AGENDA  
CITY OF MAPLEWOOD HERITAGE PRESERVATION COMMISSION  
Thursday, January 12, 2023  
7:00PM

City Council Chambers, Maplewood City Hall

**A. ROLL CALL**

**B. APPROVAL OF AGENDA**

**C. APPROVAL OF MINUTES**

1. December, 2022

**D. NEW BUSINESS**

1. Review of founding documents
2. 106 Review for Purple Line Project
3. Review and discuss goals for 2023
4. Review and discuss possible preservation properties

**E. UNFINISHED BUSINESS**

1. Demo application(s)
  - 1855 White Bear Ave
  - Others TBD
2. New board member recruitment
3. Heritage Preservation Award Nominations  
[Maplewoodmn.gov/HeritageAward](http://Maplewoodmn.gov/HeritageAward)

**F. VISITORPRESENTATIONS**

1. Maplewood Area Historical Society Update

**G. ADJOURNMENT**

***RULES OF CIVILITY FOR THE CITY COUNCIL, BOARDS, COMMISSIONS AND OUR COMMUNITY***

Following are rules of civility the City of Maplewood expects of everyone appearing at Commission Meetings - elected officials, staff and citizens. It is hoped that by following these simple rules, everyone's opinions can be heard and understood in a reasonable manner. We appreciate the fact that when appearing at Commission meetings, it is understood that everyone will follow these principles:

- Speak only for yourself, not for other Commission members or citizens - unless specifically tasked by your colleagues to speak for the group or for citizens in the form of a petition.
- Show respect during comments and/or discussions, listen actively and do not interrupt or talk amongst each other.
- Be respectful of the process, keeping order and decorum. Do not be critical of Commission members, staff or others in public.
- Be respectful of each other's time keeping remarks brief, to the point and non-repetitive.

# MINUTES

CITY OF MAPLEWOOD HERITAGE PRESERVATION COMMISSION  
Thursday, December 8, 2022  
7:00PM

City Council Chambers, Maplewood City Hall

## A. ROLL CALL

Chair Bob Cardinal	Present
Vice Chair Richard Currie	Present
Commissioner John Gaspar	Present
Commissioner David Hughes	Present
Commissioner Barbara Kearn	Present
Commissioner Laura Koski	Present
Councilmember Villavicencio	Absent
Staff: Joe Sheeran, Comms Mgr	Present

## B. APPROVAL OF AGENDA

- J. Gaspar motion, Currie 2<sup>nd</sup> (pass with no objection on voice vote)

## C. APPROVAL OF MINUTES

1. November, 2022
  - D. Hughes motion, J. Gaspar 2<sup>nd</sup> (pass with no objection on voice vote)

## D. NEW BUSINESS

1. Review of founding documents
2. 106 Review for Purple Line Project
3. Update on Ramsey County Poor Farm Water Tower

## E. UNFINISHED BUSINESS

1. Demo application (TBD)
2. New board member recruitment update (Replacing J. DeMoe)

## F. VISITORPRESENTATIONS

1. Maplewood Area Historical Society Update

## G. ADJOURNMENT

]

**ORDINANCE 755**

**ORDINANCE FOR MAPLEWOOD HISTORICAL ADVISORY COMMISSION**

**THE CITY COUNCIL OF THE CITY OF MAPLEWOOD DOES HEREIN ORDAIN:**

**Article IV, Secs. 2-87 to 2-99 is hereby added to read as follows:**

**DIVISION 4. HISTORICAL COMMISSION**

**Sec. 2-87 Established**

**There is hereby established for the City a Historical Commission as an independent board to the City Council, as provided in Minnesota Statutes Annotated Sections 471.93 and 138.51.**

**Sec. 2-88. Statement of public policy and purpose.**

**It is hereby declared by the City Council that it is the public policy of the City to engage in a comprehensive program of historic preservation and to promote the use and conservation of historic properties for the education, inspiration, pleasure, and enrichment of the citizens of this Area. The purpose of this division creating the Historical Commission is to secure for all citizens the opportunity to preserve and disseminate knowledge of the area's history.**

**Sec. 2-89. Advisory body:**

**All actions of the Historical Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.**

**Sec. 2-90. Composition; Appointment; Qualifications; Terms**

- (a) The Historical Commission shall be composed of 7 members appointed by the City Council, who shall be residents of the City, and shall be selected to assure that the Commission is representative of the various areas of the City and responsive to the needs of the people. The unexpired portion of the year in which the appointments are made shall be considered as one year. All terms shall expire on December 31 of the year in which the appointment terminates. As the terms expire, all appointments thereafter shall be for a term of 3 years, and a member may only be reappointed for one additional term. The first board appointed by the Council shall serve as follows: three members for three years and four members for two-year terms. After the two-year terms expire, all appointments shall be three-year appointments.**

**Sec. 2-91. Officers Generally.**

**The chairperson and vice-chairperson of the Historical Commission shall be elected by the Historical Commission at the first meeting in January of each year from among the members of the Historical Commission. The chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the Commission.**

**Sec. 2-92. Vacancies.**

- (a) Any of the following may cause the office of a Historical Commissioner to become vacated:
  - (1) Death or removal from the City;**
  - (2) Disability or failure to serve, as shown by failure to attend four (4) meetings in any year, may be cause for removal by the****

- Council majority, unless good cause can be shown to the Council.
- (3) Resignation in writing.
- (4) Taking of public office in the City.

**Sec. 2-93. Officers, Meetings, Rules of Procedure; Public Attendance; etc.**

- (a) The Historical Commission shall establish meeting times and adopt its own Rules of Procedure to be reviewed and approved by the City Council.
- (b) All meetings of this Commission shall be open to the public and shall be housed in such manner as to permit public attendance.

**Sec. 2.94. Powers.**

The powers of the Historical Commission shall be as follows:

- (1) Recommend districts, sites, buildings, structures, and objects that are of historical, archeological, engineering or cultural significance.
- (2) Accept donations, funds and property on behalf of the City.
- (3) Assist in the establishment of a non-profit Maplewood Area Historical Society.

No power shall be exercised by the Commission which is contrary to a State law or denied by the City by its charter or law. The powers of the Commission shall be exercised only in a manner prescribed by ordinance and no action of a Commission shall contravene any provision of the City's zoning or planning ordinance unless expressly authorized by an ordinance.

**Sec. 2-95. Duties and Responsibilities.**

The duties of the Historical Commission shall be as follows:

- (1) To discover and collect any and all material which may establish or illustrate the history of the City.
- (2) The Commission may publish any and all materials which may bear upon this history.
- (3) To provide for the guidelines for any and all material necessary to fulfill its purpose.

**Sec. 2-96. Compensation, expenses.**

All members of the Historical Commission shall serve without compensation.

**Sec. 2-97. Staff - Director of Commission responsible for correspondence, docket, minutes, records, files, etc.**

Subject to the direction of the Historical Commission and its chairperson, the City Manager's designated person shall conduct all correspondence of the Commission, send out all notices required, attend all meetings and hearings of the Commission, keep the docket and minutes of the Commission's proceedings, compile all required records, and maintain the necessary files and indexes of the Commission.

**Sec. 2-98. City Attorney and Other City Employees.**

- (a) The services of the City Attorney shall be available to the Historical Commission.

**Sec. 2-99. Sunset**

- (a) The Historical Commission shall sunset December 31, 2000.

Passed by the City Council of the  
City of Maplewood, Minnesota,  
on the 13th day of May, 1996

- f. Councilmember Rossbach moved to approve the site plan date-stamped March 19, 1996 for a used car sales lot and backyard shed sales business on the east side of Highway 61, south of County Road D. The Director of Community Development may approve minor changes.

Seconded by Councilmember Koppen

Ayes - all

#### H. AWARD OF BIDS

NONE

#### I. UNFINISHED BUSINESS

1. **Historical Advisory Commission/Historical Society Ordinance - Second Reading**
  - a. Manager McGuire presented the staff report.
  - b. City Attorney Kelly presented the history and details of the proposed Ordinance creating the History Commission.
  - c. Councilmember Carlson introduced the following Ordinance for second reading and moved its adoption:

#### **ORDINANCE NO. 755**

#### **ORDINANCE FOR MAPLEWOOD HISTORICAL ADVISORY COMMISSION**

THE CITY COUNCIL OF THE CITY OF MAPLEWOOD DOES HEREIN ORDAIN:

Article IV, Secs. 2-87 to 2-99 is hereby added to read as follows:

#### **DIVISION 4. HISTORICAL COMMISSION**

##### **Sec. 2-87 Established**

There is hereby established for the City a Historical Commission as an advisory board to the City Council, as provided in Minnesota Statutes Annotated Sections 471.93 and 138.51.

##### **Sec. 2-88. Statement of public policy and purpose.**

It is hereby declared by the City Council that it is the public policy of the City to engage in a comprehensive program of historic preservation and to promote the use and conservation of historic properties for the education, inspiration, pleasure, and enrichment of the citizens of the Maplewood area.

##### **Sec. 2-89. Advisory body:**

All actions of the Historical Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.

## **Sec. 2-90. Composition; Appointment; Qualifications; Terms**

- (a) The Historical Commission shall be composed of 7 members appointed by the City Council, who shall be residents of the City, and shall be selected to assure that the Commission is representative of the various areas of the City and responsive to the needs of the City. The unexpired portion of the year in which the appointments are made shall be considered as one year. All terms shall expire on December 31 of the year in which the appointment terminates. As the terms expire, all appointments thereafter shall be for a term of 3 years, and a member may only be reappointed for one additional term. The first board appointed by the Council shall serve as follows: three members for three years and four members for two-year terms. After the two-year terms expire, all appointments shall be three-year appointments.

## **Sec. 2-91. Officers Generally.**

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## **Sec. 2-92. Vacancies.**

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  - (3) Resignation in writing.
  - (4) Taking of public office in the City.

## **Sec. 2-93. Officers, Meetings, Rules of Procedure; Public Attendance; etc.**

- (a) The Historical Commission shall establish meeting times and adopt its own Rules of Procedure to be reviewed and approved by the City Council.
- (b) All meetings of this Commission shall be open to the public and shall be housed in such manner as to permit public attendance.

## **Sec. 2.94. Powers.**

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Subject to the direction of the Historical Commission and its chairperson, the City Manager's designated person shall conduct all correspondence of the Commission, send out all notices required, attend all meetings and hearings of the Commission, keep the docket and minutes of the Commission's proceedings, compile all required records, and maintain the necessary files and indexes of the Commission.

**Sec. 2-98. City Attorney and Other City Employees.**

- (a) The services of the City Attorney shall be available to the Historical Commission.

**Sec. 2-99. Sunset**

- (a) The Historical Commission shall sunset on December 31, ~~2002~~  
2000.

Seconded by Councilmember Koppen

Ayes - all

**J. NEW BUSINESS**

**1. Stop Sign Requests**

- a. Manager McGuire presented the staff report.
- b. Director of Public Works Haider presented the specifics of the report.
- c. Mayor Bastian asked if anyone wished to speak before the Council regarding this matter. The following were heard:

Bill Daley, 907 Lakewood Court - In favor of stop signs

Read letter from Diane & Rick Sherwood, 885 Schaller Drive - In favor  
Scott Samuelson, 2420 Hillwood Drive - In favor, also suggested "Curve" and  
or "Children at Play" signs.

Brian Fitzgerald, 870 Lakewood Drive - In favor

Debbie Daley, 907 Lakewood Court - In favor

- d. Councilmember Rossbach moved to approve the requests for stop signs at Hillwood Drive and Marnie Street and at Schaller Drive and Lakewood Court.

Seconded by Mayor Bastian

Ayes - all

## ORDINANCE 845

### ORDINANCE FOR MAPLEWOOD HISTORICAL PRESERVATION COMMISSION

THE CITY COUNCIL OF THE CITY OF MAPLEWOOD DOES HEREIN ORDAIN:

Article IV. Secs. 2-87 to 2-99 is hereby added to read as follows:

DIVISION 4. HISTORICAL PRESERVATION COMMISSION (“Commission”)

#### **Section 2-87. Authority for Establishment**

There is hereby established for the City a Historical Preservation Commission as an independent board to the City Council, as provided in Minnesota Statutes Annotated Sections 471.193 and 138.51.

#### **Section 2-88. Statement of public policy and purpose.**

It is hereby declared by the City Council that it is the public policy of the City to engage in a comprehensive program of historic preservation and to promote the use and conservation of historic properties for the education, inspiration, pleasure and enrichment of the citizens of this Area. The purpose of this division creating the Commission is to secure for all citizens of Maplewood the opportunity to preserve and promote its historic resources through the dissemination of knowledge about the area’s history.

#### **Section 2-89. Advisory body.**

All actions of the Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.

#### **Section 2-90. Composition; Appointment; Qualifications; Terms.**

(a) The Historical Commission shall be composed of 7 members appointed by the City Council, who shall be residents of the City, and shall be selected to assure that the Commission is representative of the various areas of the City and responsive to the needs of the people.

Commission membership shall be drawn from persons with demonstrated interest and/or expertise in historic preservation. If available in the community, at least two members of the Commission shall be preservation-related professionals (including the professions of history, architecture, architectural history, archeology, planning, real estate, design, building trades, landscape architecture, or law). If available, one member of the Commission must be a designated representative of the Ramsey County Historical Society, or the City will pay for a membership for the Commission Chairperson.

Specific disciplines and professional qualifications must be represented on the Commission (or professional expertise must be sought) when the Commission is considering nominations to the National Register of Historic Places (see Section X=XX, part x, for the nomination process) and other actions that will impact properties which are normally evaluated by a professional in such a discipline.

The City of Maplewood will advertise for nominations to fill vacancies on the Commission. The Commission members will interview nominees and recommend new members to the City Council based on the following factors:

- (1) interest and/or experience in history and historic preservation;

(2) if possible, a resident from an area of the city (West, North/Central, South) that has a vacancy on the Commission; otherwise, an "at large" member;

(3) if possible, a resident who represents specific disciplines or professional qualifications (as noted above) if such vacancies exist on the Commission.

The unexpired portion of the year in which appointments are made shall be considered as one year. All terms shall expire on December 31 of the year in which the appointment terminates. As the terms expire, all appointments thereafter shall be for a term of 3 years. After the terms of the current members expire, all appointments and reappointments shall be three-year appointments.

**Section. 2-91. Officers Generally.**

The chairperson and vice-chairperson of the Commission shall be elected by the Commission at the first meeting in January of each year from among the members of the Commission. The Chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the Commission. If the Chairperson is unable to attend a meeting, the vice-chairperson shall conduct the meeting.

Passed by the Maplewood City Council December 22, 2003.

Seconded by Councilmember Wasiluk

Ayes-Mayor Cardinal,  
Councilmembers Juenemann and  
Wasiluk  
Nays-Councilmember Koppen  
Abstain-Councilmember Collins

Councilmember Juenemann moved to approve consent agenda item 4 as presented.

Seconded by Councilmember Koppen

Ayes-All

**H. PUBLIC HEARINGS**

None

**I. AWARD OF BIDS**

None

**J. UNFINISHED BUSINESS**

1. Code Amendment--Historical Commission (Second Reading)

a. City Manager Fursman presented the staff report.

b. Assistant City Manager Coleman presented specifics from the report.

Councilmember Collins moved to approve the amendment to the Historical Commission Code.

Editing format: ~~Proposed changes/deletions to original language.~~  
Proposed additions of new language.

**ORDINANCE NO. 845**

**ORDINANCE FOR MAPLEWOOD HISTORICAL ~~ADVISORY~~ PRESERVATION COMMISSION**

THE CITY COUNCIL OF THE CITY OF MAPLEWOOD DOES HEREIN ORDAIN:

Article IV. Secs. 2-87 to 2-99 is hereby added to read as follows:

DIVISION 4. HISTORICAL PRESERVATION COMMISSION (Commission)

**See. Section 2-87 Authority for Establishment**

There is hereby established for the City a Historical Preservation Commission as an independent board to the City Council, as provided in Minnesota Statutes Annotated Sections 471.193 and 138.51.

**See. Section 2-88. Statement of public policy and purpose.**

It is hereby declared by the City Council that it is the public policy of the City to engage in a

comprehensive program of historic preservation and to promote the use and conservation of historic properties for the education, inspiration, pleasure and enrichment of the citizens of this Area. The purpose of this division creating the ~~Historical~~ Commission is to secure for all citizens of Maplewood the opportunity to preserve and promote its historic resources through the dissemination of knowledge of about the area's history.

**See. Section 2.89. Advisory body.**

All actions of the ~~Historical~~ Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.

**See. Section 2-90. Composition; Appointment; Qualifications; Terms.**

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The City of Maplewood will advertise for nominations to fill vacancies on the Commission. The Commission members will interview nominees and recommend new members to the City Council based on the following factors:

- (1) interest and/or experience in history and historic preservation;
- (2) if possible, a resident from an area of the city (West, North/Central, South) that has a vacancy on the Commission; otherwise, an "at large" member;
- (3) if possible, a resident who represents specific disciplines or professional qualifications (as noted above) if such vacancies exist on the Commission.

(e) The unexpired portion of the year in which appointments are made shall be considered as one year. All terms shall expire on December 31 of the year in which the appointment terminates. As the terms expire, all appointments thereafter shall be for a term of 3 years. ~~and a member may only be reappointed for one additional term. The first board appointed by the Council shall serve as follows: three members for three years and four members for two year terms. After the two-year terms of the current members expire, all appointments and reappointments shall be three-year appointments.~~

**See. Section. 2-91. Officers Generally.**

The chairperson and vice-chairperson of the ~~Historical~~ Commission shall be elected by the ~~Historical~~ Commission members at the first meeting in January of each year from among the members of the ~~Historical~~ Commission. The Chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the Commission. If the Chairperson is unable to attend a meeting, the vice-chairperson shall conduct the meeting.

Seconded by Councilmember Wasiluk

Ayes-All

**K. NEW BUSINESS**

1. Communications Center Staffing

a. City Manager Fursman presented the staff report.

b. Fire Chief Lukin and Police Chief Thomalla presented specifics from the report.

Councilmember Wasiluk moved to approve the hiring of a ninth dispatcher.

Seconded by Councilmember Juenemann

Ayes-All

2. McKnight Road and Lower Afton Road Intersection Improvements, City Project 02-13 .

Approve Agreement with Ramsey County for Maintenance and Construction of Traffic Control Signals and EVP System

a. City Manager Fursman presented the staff report.

b. City Engineer Ahl presented specifics from the report.

Councilmember Juenemann moved to approve the agreement with Ramsey County for the Maintenance and Construction of Traffic Control Signals and EVP System at the McKnight Road and Lower Afton Road intersection; authorize the Mayor and City Manager to execute the agreements; and authorize the finance director to establish a project budget of \$9,925 to be reimbursed from the City's Municipal State Aid Street (MSAS) Fund.

Seconded by Councilmember Collins

Ayes-All

3. County Road D Realignment (TH 61 to Southlawn), City Project 02-07--Approve Right of Way and Easement Acquisition Agreements:

a. Keith Venburg for Property at 2990 Highway 61

b. Premises Lease with Mercon Corporation, d/b/a Venburg Tire

c. Mercon Corporation, d/b/a Relocation Agreement

d. Gulden Roadhouse, Inc.

a. City Manager Fursman presented the staff report.

b. City Engineer Ahl presented specifics from the report.

## **AMENDMENT ORDINANCE 905**

### **THE HERITAGE PRESERVATION COMMISSION ORDINANCE**

**Section 1** This amendment revises Sections 2-87 to 2-91

**DIVISION 4 HERITAGE PRESERVATION COMMISSION (“Commission”)**

**Section 2-87 Authority for Establishment**

There is hereby established for the City a Heritage Preservation Commission as an independent commission to the City Council, as provided in Minnesota Statutes Annotated Sections 471.193 and 138.51.

**Section 2-88 Statement of public policy and purpose**

The City Council hereby declares as a matter of public policy that the protection, preservation, perpetuation and use of places, areas, buildings, structures and other objects having a special historical, community or aesthetic interest or value is a public necessity and is required in the interest of the people. The purpose of this Chapter is to:

- (a) Safeguard the cultural resources of the City by preserving sites, structures, districts and landmarks which reflect elements of the City's cultural, social, economic, political or architectural history;
- (b) Protect and enhance the City's attractions to residents and visitors;
- (c) Foster civic pride in the beauty and notable achievements of the past;
- (d) Enhance the visual and aesthetic character, diversity and interest of the City; and
- (e) Promote the use and preservation of historic sites and landmarks for the education and general welfare of the people of the City.

**Section 2-89 Advisory body**

All actions of the Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.

**Section 2-90 Composition; Appointment; Qualifications; Terms**

(a) The Heritage Commission shall be composed of seven (7) members appointed by the City Council, who shall be residents of the City, and shall be selected to assure that the Commission is representative of the various areas of the City and responsive to the needs of the people.

(b) Commission membership shall be drawn from persons with demonstrated interest and/or expertise in historic preservation. If available in the community, at least two members of the Commission shall be heritage preservation-related professionals (e.g. the professions of history,

architecture, architectural history, archeology, planning, real estate, design, building trades, landscape architecture, or law). A member of the Maplewood Heritage Preservation Commission is required to be a representative to the Ramsey County Historical Society. The City shall pay for the membership of the Commission or designee.

(c) The members of the heritage preservation commission shall serve staggered terms. All appointments shall be assigned by the city council for a term of three years.

### **Section 2-91 Officers Generally**

The chairperson and vice-chairperson of the Commission shall be elected by the Commission at the first meeting in January of each year from among the members of the Commission. The Chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the Commission. If the Chairperson is unable to attend a meeting, the vice-chairperson shall conduct the meeting.

### **Section 2-92 Designation of historic sites and landmarks**

(a) Procedures: The City Council, upon the request of the Commission, may by resolution designate an historic site, landmark, or district. Prior to such designation, the city council shall hold a public hearing, notice of which shall be published at least ten (10) days prior to the date of the hearing. Notice of the hearing shall also be mailed to all owners of property which is proposed to be designated as an historic site, landmark or district and to all property owners within five hundred (500) feet of the boundary of the area to be designated. Every nomination shall be forwarded to the Minnesota Historical Society for review and comment within sixty (60) days of the Commission's request.

(b) Eligibility criteria: In considering the designation of any area, site, place, district, building or structure in the city as an historic site, landmark, or district the Commission shall consider the following factors with respect to eligibility:

- (1) Its character, interest or value as part of the history or cultural heritage of the City, the State or the United States;
- (2) Its association with persons or events that have made a significant contribution to the cultural heritage of the City;
- (3) Its potential to yield information important in history or prehistory;
- (4) Its embodiment of distinguishing characteristics of architectural type or style, or elements of design, detail materials or craftsmanship; and
- (5) Its unique location or singular physical appearance representing an established or familiar visual feature of a neighborhood or community of the City.

### **Section 2-93 Alterations to landmarks, sites or districts; review**

(a) Review and recommendations generally: The Commission shall review and make recommendations to the Council concerning proposed alterations to an historic site, landmark or district.

**(b)** Land use permit: Every application for a land use permit which may result in the alteration of a designated historic site, landmark or district in the City shall be reviewed by the Commission; thereafter, the Commission shall make a recommendation and may recommend conditions regarding approval to the City Council concerning the proposed permit.

**(c)** Other building permits: The Commission shall review and make recommendations to the Council concerning the issuance of building permits to do any of the following in a historic district or State designated historic site:

**(1)** New construction – New building or new addition to an existing building

**(2)** Remodel – Alter, change or modify building or site

**(3)** Move a building – Building or structure moved into the city.

**(4)** Excavation – Dig out materials from the ground.

**(5)** Demolition – Destroy, remove or raze – completely tear down

**(d)** Factors considered: The Commission, upon receipt of the permit application and plans, shall determine if the work to be performed adversely affects the designated historic site, landmark or district. In determining whether or not there is an adverse effect to the historic site, landmark, or district the Commission shall consider the following factors:

**(1)** Whether the work will significantly alter the appearance of the building or structure so as to remove the features which distinguish the historic site, landmark or district as a significant cultural resource.

**(2)** Whether the use of the property will destroy, disturb or endanger a known or suspected archaeological feature site.

**(e)** Standards and guidelines: The Comprehensive Plan adopted by the City shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts.

**(f)** Appeals: Any party aggrieved by a decision of the Commission shall within ten (10) days of the Commission's action recommending denying the issuance of a building permit within a historic district have a right to appeal such decision to the City Council. The Commission in recommending denial of a building permit shall advise the applicant of his/her right to appeal to the City Council. The aggrieved party shall file with the Building Official a written notice requesting Council review of the action taken by the Commission.

## **Section 2-94 Maintenance of records and documents**

The Commission shall conduct a continuing survey of cultural resources in the City which the Commission has reason to believe are or will be eligible for designation as historic sites, landmarks or districts. The Commission shall also prepare and maintain a Comprehensive map and survey.

**(a)** Register of Historic Sites and Landmarks: The City shall maintain a register of historic sites and landmarks.

**(b)** Repository for Documents: The office of the Building Official is designated as the repository for all studies, surveys, reports, programs, and designations of historic sites and landmarks.

**Section 2-95 Violation**

It shall be a misdemeanor to alter, disturb, deface or materially change the appearance or use of a designated historic site, landmark, or district without a permit.

This Historical Preservation Commission recommended approval of this ordinance.

This ordinance shall take effect after publishing in the official newspaper.

The Maplewood City Council approved this ordinance on June 28, 2010.

# Affidavit of Publication

State of Minnesota }  
County of Ramsey } SS

ANNE THILLEN, being duly sworn, on oath, says that he/she is the publisher or authorized agent and employee of the publisher of the newspaper known as MAPLEWOOD REVIEW, and has full knowledge of the facts which are stated below:

(A) The newspaper has complied with all of the requirements constituting qualification as a qualified newspaper, as provided by Minnesota Statute 331A.02, 331A.07, and other applicable laws, as amended.

(B) The printed ORDINANCE 905 which is attached was cut from the columns of said newspaper, and was printed and published once each week, for 1 successive weeks; it was first published on WEDNESDAY, the 7<sup>TH</sup> day of JULY, 20 10, and was thereafter printed and published on every \_\_\_\_\_ to and including \_\_\_\_\_, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_; and printed below is a copy of the lower case alphabet from A to Z, both inclusive, which is hereby acknowledged as being the size and kind of type used in the composition and publication of the notice:

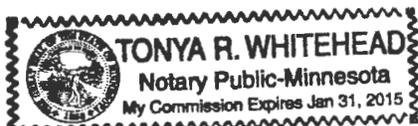
\*ABCDEFGHIJKLMNPOQRSTUVWXYZ  
\*ABCDEFGHIJKLMNPOQRSTUVWXYZ  
\*abcdefghijklmnpqrstuvwxyz

BY: Anne M. Thillen  
TITLE LEGAL COORDINATOR

Subscribed and sworn to before me on this 7<sup>TH</sup> day of JULY, 20 10.

Tonya R. Whitehead  
Notary Public

\*Alphabet should be in the same size and kind of type as the notice.



### RATE INFORMATION

- (1) Lowest classified rate paid by commercial users for comparable space.....\$25.00 per col. inch
- (2) Maximum rate allowed by law for the above matter.....\$25.00 per col. inch
- (3) Rate actually charged for the above matter .....\$ \_\_\_\_\_ per col. inch

**CITY OF MAPLEWOOD  
AMENDMENT ORDINANCE 905  
THE HERITAGE PRESERVATION  
COMMISSION ORDINANCE**

**Section 1** This amendment revises Sections 2-87 to 2-91 of Ordinance 845 (additions are underlined and deletions are stricken):

**DIVISION 4 HERITAGE  
PRESERVATION COMMISSION**  
("Commission")

**Section 2-87 Authority for  
Establishment**

There is hereby established for the City a Heritage Preservation Commission as an independent commission to the City Council, as provided in Minnesota Statutes Annotated Sections 471.193 and 138.51.

**Section 2-88 Statement of public  
policy and purpose**

The City Council hereby declares as a matter of public policy that the protection, preservation, perpetuation and use of places, areas, buildings, structures and other objects having a special historical, community or aesthetic interest or value is a public necessity and is required in the interest of the people. The purpose of this Chapter is to:

(a) Safeguard the cultural resources of the City by preserving sites, structures, districts and landmarks which reflect elements of the City's cultural, social, economic, political or architectural history;

(b) Protect and enhance the City's attractions to residents and visitors;

(c) Foster civic pride in the beauty and notable achievements of the past;

(d) Enhance the visual and aesthetic character, diversity and interest of the City; and

(e) Promote the use and preservation of historic sites and landmarks for the education and general welfare of the people of the City.

**Section 2-89 Advisory body**

All actions of the Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.

**Section 2-90 Composition;  
Appointment; Qualifications; Terms**

(a) The Heritage Commission shall be composed of seven (7) members appointed by the City Council, who shall be residents of the City, and shall be selected to assure that the Commission is representative of the various areas of the City and responsive to the needs of the people.

characteristics of architectural type or style, or elements of design, detail materials or craftsmanship; and

(5) Its unique location or singular physical appearance representing an established or familiar visual feature of a neighborhood or community of the City.

**Section 2-93 Alterations to  
landmarks, sites or districts; review**

(a) Review and recommendations generally: The Commission shall review and make recommendations to the Council concerning proposed alterations to an historic site, landmark or district.

(b) Land use permit: Every application for a land use permit which may result in the alteration of a designated historic site, landmark or district in the City shall be reviewed by the Commission; thereafter, the Commission shall make a recommendation and may recommend conditions regarding approval to the City Council concerning the proposed permit.

(c) Other building permits: The Commission shall review and make recommendations to the Council concerning the issuance of building permits to do any of the following in a historic district or State designated historic site:

(1) New construction - New building or new addition to an existing building

(2) Remodel - Alter, change or modify building or site

(3) Move a building - Building or structure moved into the city.

(4) Excavation - Dig out materials from the ground.

(5) Demolition - Destroy, remove or raze - completely tear down

(d) Factors considered: The Commission, upon receipt of the permit application and plans, shall determine if the work to be performed adversely affects the designated historic site, landmark or district. In determining whether or not there is an adverse effect to the historic site, landmark, or district the Commission shall consider the following factors:

(1) Whether the work will significantly alter the appearance of the building or structure so as to remove the features which distinguish the historic site, landmark or district as a significant cultural resource.

(2) Whether the use of the property will destroy, disturb or endanger a known or suspected archaeological feature site.

(e) Standards and guidelines: The Comprehensive Plan adopted by the City shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts.

(f) Appeals: Any party aggrieved by a decision of the Commission shall within ten (10) days of the Commission's action recommending denying the issuance of a building permit within a historic district have a right to appeal such decision to the City Council. The Commission in recommending denial of a building permit shall advise the applicant of his/her right to appeal to the City Council. The aggrieved party shall file with the Building Official a written notice requesting Council review of the action taken by the Commission.

(b) Commission membership shall be drawn from persons with demonstrated interest and/or expertise in historic preservation. If available in the community, at least two members of the Commission shall be heritage preservation-related professionals (e.g. the professions of history, architecture, architectural history, archeology, planning, real estate, design, building trades, landscape architecture, or law). A member of the Maplewood Heritage Preservation Commission is required to be a representative to the Ramsey County Historical Society. The City shall pay for the membership of the Commission or designee.

(c) The members of the heritage preservation commission shall serve staggered terms. All appointments shall be assigned by the city council for a term of three years.

#### **Section 2-91 Officers Generally**

The chairperson and vice-chairperson of the Commission shall be elected by the Commission at the first meeting in January of each year from among the members of the Commission. The Chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the Commission. If the Chairperson is unable to attend a meeting, the vice-chairperson shall conduct the meeting.

#### **Section 2-92 Designation of historic sites and landmarks**

(a) Procedures: The City Council, upon the request of the Commission, may by resolution designate an historic site, landmark, or district. Prior to such designation, the city council shall hold a public hearing, notice of which shall be published at least ten (10) days prior to the date of the hearing. Notice of the hearing shall also be mailed to all owners of property which is proposed to be designated as an historic site, landmark or district and to all property owners within five hundred (500) feet of the boundary of the area to be designated. Every nomination shall be forwarded to the Minnesota Historical Society for review and comment within sixty (60) days of the Commission's request.

(b) Eligibility criteria: In considering the designation of any area, site, place, district, building or structure in the city as an historic site, landmark, or district the Commission shall consider the following factors with respect to eligibility:

- (1) Its character, interest or value as part of the history or cultural heritage of the City, the State or the United States;
- (2) Its association with persons or events that have made a significant contribution to the cultural heritage of the City;
- (3) Its potential to yield information important in history or prehistory;
- (4) Its embodiment of distinguishing

#### **Section 2-94 Maintenance of records and documents**

The Commission shall conduct a continuing survey of cultural resources in the City which the Commission has reason to believe are or will be eligible for designation as historic sites, landmarks or districts. The Commission shall also prepare and maintain a Comprehensive map and survey.

(a) Register of Historic Sites and Landmarks: The City shall maintain a register of historic sites and landmarks.

(b) Repository for Documents: The office of the Building Official is designated as the repository for all studies, surveys, reports, programs, and designations of historic sites and landmarks.

#### **Section 2-95 Violation**

It shall be a misdemeanor to alter, disturb, deface or materially change the appearance or use of a designated historic site, landmark, or district without a permit.

This Historical Preservation Commission recommended approval of this ordinance.

This ordinance shall take effect after publishing in the official newspaper. The Maplewood City Council approved this ordinance on June 28, 2010.

**Will Rossbach, Mayor**  
**Attest:**

Karen Guilfoile, City Clerk  
(Review: July 7, 2010)

## MEMORANDUM

**TO:** Historical Preservation Commission  
**FROM:** David Fisher, Building Official  
**SUBJECT:** **Proposed Historical Preservation Commission Ordinance Amendment**  
**DATE:** July 9, 2009 for the July 16, 2009 HPC Meeting

### INTRODUCTION

At the May 21, 2009, Historical Preservation Commission (HPC) meeting the HPC reviewed the proposed HPC Ordinance amendment and requested staff review the ordinance with Mike Koop at the Minnesota Historical Society (MNHS).

### DISCUSSION

Mr. Koop reviewed the proposed HPC Ordinance amendment and had the following comments or suggestions:

- Change Historical to Heritage throughout the document. This is something the MNHS is trying to do throughout the state.
- Define in more detail the following underlined terms in Section 2-93 (c), other building permits: The Commission shall review and make recommendations to the Council concerning the issuance of building permits to do any of the following in a historic district or state designated historic site:  
(1) New construction (2) Move a building (3) Excavation (4) Demolition
- Modify Section 2-92 (e) Standards and guidelines - as follows: "The Comprehensive Cultural Resource Management Plan adopted by the City shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts. The Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation shall be the required basis for permit-used to review decisions historic property.

Staff has reviewed these proposed modifications and finds them reasonable.

### RECOMMENDATION

Staff recommends the HPC review the revised proposed HPC Ordinance amendment and offer feedback and direction.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE MAPLEWOOD  
HISTORICAL HERITAGE PRESERVATION COMMISSION**

The Maplewood City Council approves the following changes to the Maplewood Code of Ordinances:

**Section 1.** This amendment revises Sections 2-87 to 2-91 (Historical Heritage Preservation Commission) (additions are underlined and deletions are stricken):

DIVISION 4. HISTORICAL HERITAGE PRESERVATION COMMISSION  
("Commission")

Section 2-87 Authority for Establishment.

There is hereby established for the City a Historical Heritage Preservation Commission as an independent board to the City Council, as provided in Minnesota Statutes Annotated Sections 471.193 and 138.51.

Section 2-88. Statement of public policy and purpose.

~~It is hereby declared by the City Council that it is the public policy of the City to engage in a comprehensive program of historic preservation and to promote the use and conservation of historic properties for the education, inspiration, pleasure and enrichment of the citizens of this Area. The purpose of this division creating the Commission is to secure for all citizens of Maplewood the opportunity to preserve and promote its historic resources through the dissemination of knowledge about the area's history.~~

The City Council hereby declares as a matter of public policy that the protection, preservation, perpetuation and use of places, areas, buildings, structures and other objects having a special historical, community or aesthetic interest or value is a public necessity and is required in the interest of the people. The purpose of this Chapter is to:

- (a) Safeguard the cultural resources of the City by preserving sites, structures, districts and landmarks which reflect elements of the City's cultural, social, economic, political or architectural history;
- (b) Protect and enhance the City's attractions to residents and visitors;
- (c) Foster civic pride in the beauty and notable achievements of the past;

- (d) Enhance the visual and aesthetic character, diversity and interest of the City; and
- (e) Promote the use and preservation of historic sites and landmarks for the education and general welfare of the people of the City.

Section 2.89. Advisory body.

All actions of the Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.

Section 2-90. Composition; Appointment; Qualifications; Terms.

(a) The Historical *Heritage* Commission shall be composed of seven (7) members appointed by the City Council, who shall be residents of the City, and shall be selected to assure that the Commission is representative of the various areas of the City and responsive to the needs of the people.

(b) Commission membership shall be drawn from persons with demonstrated interest and/or expertise in historic preservation. If available in the community, at least two members of the Commission shall be preservation-related professionals (including the professions of history, architecture, architectural history, archeology, planning, real estate, design, building trades, landscape architecture, or law). If available, one member of the Commission must be a designated representative of the Ramsey County Historical Society, or the City will pay for a membership for the Commission Chairperson.

(c) Specific disciplines and professional qualifications must be represented on the Commission (or professional expertise must be sought) when the Commission is considering nominations to the National Register of Historic Places (~~see Section X=XX, part x, for the nomination process~~) and other actions that will impact properties which are normally evaluated by a professional in such a discipline.

(d) The City of Maplewood will advertise for nominations to fill vacancies on the Commission. ~~The City Council Commission members will interview nominees and recommend new members to the City Council based on the following factors:~~

- (1) Interest and/or experience in history and historic preservation;
- (2) ~~+~~ If possible, a resident from an area of the city (West, North/Central, South) that has a vacancy on the Commission; otherwise, an "at large" member;
- (3) ~~+~~ If possible, a resident who represents specific disciplines or professional qualifications (as noted above) if such vacancies exist on

the Commission.

(e) The unexpired portion of the year in which appointments are made shall be considered as one year. All terms shall expire on December 31 of the year in which the appointment terminates. As the terms expire, all appointments thereafter shall be for a term of 3 years. After the terms of the current members expire, all appointments and reappointments shall be three-year appointments.

Section. 2-91. Officers Generally.

The chairperson and vice-chairperson of the Commission shall be elected by the Commission at the first meeting in January of each year from among the members of the Commission. The Chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the Commission. If the Chairperson is unable to attend a meeting, the vice-chairperson shall conduct the meeting.

Section 2-92. Designation of historic sites and landmarks.

(a) Procedures: The City Council, upon the request of the Commission, may by resolution designate an historic site, landmark, or district. Prior to such designation, the city council shall hold a public hearing, notice of which shall be published at least ten (10) days prior to the date of the hearing. Notice of the hearing shall also be mailed to all owners of property which is proposed to be designated as an historic site, landmark or district and to all property owners within five hundred (500) feet of the boundary of the area to be designated. Every nomination shall be forwarded to the Minnesota Historical Society for review and comment within sixty (60) days of the Commission's request.

(b) Eligibility criteria: In considering the designation of any area, site, place, district, building or structure in the city as an historic site, landmark, or district the Commission shall consider the following factors with respect to eligibility:

- (1) Its character, interest or value as part of the history or cultural heritage of the City, the State or the United States;
- (2) Its association with persons or events that have made a significant contribution to the cultural heritage of the City;
- (3) Its potential to yield information important in history or prehistory;
- (4) Its embodiment of distinguishing characteristics of architectural type or style, or elements of design, detail materials or craftsmanship; and
- (5) Its unique location or singular physical appearance representing an established or familiar visual feature of a neighborhood or community

of the City.

Section 2-93. Alterations to landmarks, sites or districts; review.

(a) Review and recommendations generally: The Commission shall review and make recommendations to the Council concerning proposed alterations to an historic site, landmark or district.

(b) Land use permit: Every application for a land use permit which may result in the alteration of a designated historic site, landmark or district in the City shall be reviewed by the Commission; thereafter, the Commission shall make a recommendation and may recommend conditions regarding approval to the City Council concerning the proposed permit.

(c) Other building permits: The Commission shall review and make recommendations to the Council concerning the issuance of building permits to do any of the following in a historic district or State designated historic site:

- (1) New construction.
- (2) Move a building.
- (3) Excavation.
- (4) Demolition.

(d) Factors considered: The Commission, upon receipt of the permit application and plans, shall determine if the work to be performed adversely affects the designated historic site, landmark or district. In determining whether or not there is an adverse effect to the historic site, landmark, or district the Commission shall consider the following factors:

(1) Whether the work will significantly alter the appearance of the building or structure so as to remove the features which distinguish the historic site, landmark or district as a significant cultural resource.

(2) Whether the use of the property will destroy, disturb or endanger a known or suspected archaeological feature site.

(e) Standards and guidelines: The Comprehensive Cultural Resource Management Plan adopted by the City shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts. The Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation shall be the required basis for permit-used to review decisions historic property.

(f) Appeals: Any party aggrieved by a decision of the Commission shall within ten (10) days of the Commission's action approving or denying the issuance of a building permit within a historic district have a right to appeal such decision to the

City Council. The Commission in denying a building permit shall advise the applicant of his/her right to appeal to the City Council. The aggrieved party shall file with the Building Official a written notice requesting Council review of the action taken by the Commission.

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(a) Register of Historic Sites and Landmarks: The City shall maintain a register of historic sites and landmarks.

(b) Repository for Documents: The office of the Building Official is designated at the repository for all studies, surveys, reports, programs, and designations of historic sites and landmarks.

Section 2.94. Violation.

It shall be a misdemeanor to alter, disturb, deface or materially change the appearance or use of a designated historic site, landmark, or district without a permit.

**Section 2.** This ordinance shall take effect after the city publishes it in the official newspaper.

This Historical Preservation Commission recommended approval of this ordinance on \_\_\_\_\_.

The City Council approved this ordinance on \_\_\_\_\_.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

should be included in the revised ordinance. It was agreed that guidelines are needed to encourage preservation without being so restrictive as to cause people to refuse to follow the guidelines for registration as a historic building or site.

Ron said he felt that, ideally, the ordinance and the list would be structured in such a way that it would be an advantage to be on the list rather than a detriment and possibly be able to obtain some assistance with their preservation.

Pete restated that the two main guidelines for identifying properties are 50 years or older and architecturally significant.

Dave commented that the owners of some of the houses on the current list may want their historic status maintained or to be upgraded to the higher portion of the list because it could increase the property value and/or help ensure preservation of the property or about it.

Pete said the third big requirement is that the building is unaltered, so each Commissioner should check the sites in their area and verify which, if any meet the criteria of age and lack of alteration, and narrow the list as much as possible.

Ron said owners of properties on the list of what we have now should be sent a letter explaining what the Commission is trying to do and ask if they are interested in being considered for historical status.

Bob indicated that he would nominate 1099 Lakewood Drive, which he owns and is his homestead. It was built in 1912 and is unaltered. It was built by a local builder (Bartells) who built an identical house across the street and another at McKnight and Maryland as well as others.

Ron asked everyone to work on their list during the coming month and bring the information to the next meeting.

Dave asked that information about changes to the list be consolidated and given to him next month for preparation of a new map which will be distributed to the Commission when printed.

Discussion followed about an ordinance proposed at the HRA meeting regarding possible demolition of vacant houses. At this point it has been tabled and it is not likely it will come up again anytime soon.

#### b. Proposed Historical Preservation Ordinance Amendment

The request from Mike Koop at Minnesota Historical Society about changing the title of the Commission from Historical Preservation Commission to Heritage Preservation Commission was discussed.

**Pete moved to request Council to change the name of the Commission from Historical Preservation Commission to Heritage Preservation Commission.**

**Caleb seconded the motion, ayes - all.**

In the proposed ordinance amendment, presented and amended at the July meeting, a correction was needed to the last sentence of Section 2-90. Composition; Terms. (c) Caleb suggested: If available, one no member of the Commission must be is a designated representative of the Ramsey County Historical Society, or the City will pay for a membership for the Commission Chairperson or designee. If no member of the Commission is a designated representative of the Ramsey County Historical Society, the City will pay for a membership for the Commission Chairperson or designee."

Dave will make sure the sentence is right and bring it back to the next meeting for approval.

#### c. Time Capsule

Dave said he asked for assistance with the staff report for this item, which had to be ready in time for the 8/24 Council Agenda and received information from Lois which he incorporated into the report to accompany the proclamation. It is on the Agenda for Monday and at least one Commissioner should be there.

Ron displayed the previous and new time capsule and mentioned the items which were submitted by residents, organizations and the city to be sealed until 2057. Some of those items are DVDs of recent and current activities such as the 50<sup>th</sup> Anniversary celebrations, information about the Bruentrup Heritage Farm; written histories and letters from residents. The Capsules will be presented to the City Council on Monday.

Dave asked if anyone knew that Maplewood was the first city in the State to have a woman as a building

exempt:

- a. Water line flushing performed by a government agency, other potable water sources such as landscape irrigation or lawn watering, diverted stream flows, rising ground water, ground water infiltration to storm drains, uncontaminated pumped ground water, foundation or footing drains (not including active groundwater dewatering systems), crawl space pumps, air conditioning condensation, springs, natural riparian habitat or wetland flows, and any other water source not containing pollutants.
  - b. Discharges or flows from fire fighting, and other discharges specified in writing by the city as being necessary to protect public health and safety.
7. Coal Tar Sealants. The use of coal tar sealers on asphalt driveways is a common practice. Coal tar sealant products contain polycyclic aromatic hydrocarbons (PAHs), which are a group of organic chemicals formed during the incomplete burning of coal, oil, gas, or other organic substances. Scientific studies have demonstrated a relationship between the use of these products on stormwater runoff and certain health and environmental concerns. The coal tar sealer section of the ordinance will prohibit any person from applying this material to any driveway, parking lot, or other surface in the city. Asphalt-based driveway sealers are still permitted as an alternative to coal tar sealants, which are not harmful on the environment. The purpose of the coal tar sealant ban is to protect, restore, and preserve the quality of our waters.

The stormwater management ordinance goes into effect after publication. An official copy of the stormwater management ordinance is on file in the office of the Maplewood Community Development and Parks and Public Works Departments or can be obtained on the city's website at [www.ci.maplewood.mn.us/stormwater](http://www.ci.maplewood.mn.us/stormwater). Questions regarding this ordinance should be directed to Michael Thompson, City Engineer at (651) 249-2403 or he can be reached by email at [michael.thompson@ci.maplewood.mn.us](mailto:michael.thompson@ci.maplewood.mn.us).

Seconded by Councilmember Juenemann.

Ayes – All

The motion passed.

### **3. Historical Preservation Ordinance Amendments – Second Reading**

- a. Environmental Planner, Shann Finwall gave the report and answered questions of the council.

Councilmember Wasiluk moved to approve the (second reading) of the historical preservation ordinance amendments.

## **AMENDMENT ORDINANCE 905**

### **THE HERITAGE PRESERVATION COMMISSION ORDINANCE**

**Section 1 This amendment revises Sections 2-87 to 2-91 of Ordinance 845 (additions are underlined and deletions are stricken):**

#### **DIVISION 4 HERITAGE PRESERVATION COMMISSION (“Commission”)**

##### **Section 2-87 Authority for Establishment**

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### **Section 2-88 Statement of public policy and purpose**

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### **Section 2-89 Advisory body**

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- (b) Commission membership shall be drawn from persons with demonstrated interest and/or expertise in historic preservation. If available in the community, at least two members of the Commission shall be heritage preservation-related professionals (e.g. the professions of history, architecture, architectural history, archeology, planning, real estate, design, building trades, landscape architecture, or law). A member of the Maplewood Heritage Preservation Commission is required to be a representative to the Ramsey County Historical Society. The City shall pay for the membership of the Commission or designee.
- (c) The members of the heritage preservation commission shall serve staggered terms. All appointments shall be assigned by the city council for a term of three years.

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- (4) Its embodiment of distinguishing characteristics of architectural type or style, or elements of design, detail materials or craftsmanship; and
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(d) Factors considered: The Commission, upon receipt of the permit application and plans, shall determine if the work to be performed adversely affects the designated historic site, landmark or district. In determining whether or not there is an adverse effect to the historic site, landmark, or district the Commission shall consider the following factors:

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(e) Standards and guidelines: The Comprehensive Plan adopted by the City shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts.

(f) Appeals: Any party aggrieved by a decision of the Commission shall within ten (10) days of the Commission’s action recommending denying the issuance of a building permit within a historic district have a right to appeal such decision to the City Council. The Commission in recommending denial of a building permit shall advise the applicant of his/her right to appeal to the City Council. The aggrieved party shall file with the Building Official a written notice requesting Council review of the action taken by the Commission.

**Section 2-94 Maintenance of records and documents**

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**Section 2-95 Violation**

It shall be a misdemeanor to alter, disturb, deface or materially change the appearance or use of a designated historic site, landmark, or district without a permit.

This ordinance shall take effect after the city publishes it in the official newspaper.

This Historical Preservation Commission recommended approval of this ordinance.

The City Council approved this ordinance on June 28, 2010.

Attest:

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor

Seconded by Councilmember Juenemann.

Ayes – All

The motion passed.

*The city council took a 10-minute break*

*The city council reconvened at 9:04 p.m.*

**J. NEW BUSINESS**

**1. Goodwill – Design Review, Parking Waiver, Wetland Buffer Variances and Lot Combination, 2580 and 2582 White Bear Avenue**

- a. Senior Planner, Tom Ekstrand gave the report and answered questions of the council.
- b. Environmental Planner, Shann Finwall answered questions of the council.
- c. City Attorney, Alan Kantrud answered questions of the council.
- d. Ginny Yingling, Environmental and Natural Resources Commission member addressed the council.
- e. Jim Kellison, Kelco Services, LLC, 1935 West County Road B2, Suite 68, Roseville, representing Mogren Properties addressed the council.

Mayor Rossbach moved to approve combining the two lots currently addressed as 2580 and 2582 White Bear Avenue into one legally-described property. The applicant shall provide evidence that these lots have been combined as one before getting a building permit.

Seconded by Councilmember Wasiluk.

Ayes – All

The motion passed.

Councilmember Nephew moved to approve the Parking Waiver for Goodwill allowing the applicant to provide eight fewer parking spaces than the city code requires.

Seconded by Councilmember Wasiluk.

Ayes – All

The motion passed.

Councilmember Nephew moved to approve the Wetland Buffer Variance Resolution for Goodwill.

**VARIANCE RESOLUTION 10-06-422**

WHEREAS, James Kellison, of Kelco Services, LLC, applied for a variance from the wetland protection ordinance.

WHEREAS, this variance applies to property located at 2580 and 2582 White Bear Avenue. The property identification numbers for these properties are:

11-29-22-21-0060 and 11-29-22-21-0061

WHEREAS, Ordinance No. 895, the Environmental Protection and Critical Area Ordinance dealing with Wetlands, requires a wetland protection buffer of 100 feet in width adjacent to creeks and a wetland protection buffer of 50 feet in width adjacent to Manage C wetlands.

WHEREAS, the applicant is proposing wetland protection buffers of 30 feet, requiring a variance of 70 feet, from the creek and a wetland protection buffer of 35 feet from the Manage C wetland, requiring a variance of 35 feet.

WHEREAS, the history of this variance is as follows:

1. On June 15, 2010, the planning commission held a public hearing to review this proposal. City staff published a notice in the paper and sent notices to the surrounding property owners as required by law. The planning commission gave everyone at the hearing a chance to speak and present written statements. The planning commission also

**TO:** James Antonen, City Manager  
**FROM:** Chuck Ahl, Assistant City Manager  
 David Fisher, Building Official  
**SUBJECT:** **Request Approval to Apply for Certified Local Government Status**  
**DATE:** November 23, 2010 for the December 13, 2010 City Council Meeting

## INTRODUCTION

The City of Maplewood is ready to apply for Certified Local Government Status (CLGS) from the Minnesota State Historic Preservation Office (SHPO). The Minnesota Certified Local Government procedures manual requires the Mayor to make the request. The SHPO will respond to the Mayor within 60 days of receipt of the written request. If the city meets the criteria for the certification, the SHPO will prepare a written certification agreement between the SHPO and the city.

## BACKGROUND

The number one 2010 goal for the Heritage Preservation Commission (HPC) is to obtain Certified Local Government Status (CLGS) for the City of Maplewood. This would make the city more eligible for Federal grants. The first step in achieving this goal was to amend the Heritage Preservation Ordinance. The second reading was approved June 28, 2010, by the city council. The next step was to obtain the resumes from the HPC, list the designated sites and submit the request to the SHPO.

## DISCUSSION

As a Certified Local Government the City of Maplewood will be required to do the following:

- Provide copy of the HPC ordinance to the State Historic Preservation Officer.
- Provide HPC's resumes and contact information to the State Historic Preservation Officer.
- Provide survey list and the addresses of the two properties that meet the criteria for historical sites.
- Enforce appropriate state and local legislation for the designation and protection of historic properties. The CLG will conduct design review of the designated properties. This would only affect two properties at this time: the Bruentrup Heritage Farm and the Ramsey County Poor Farm.
- Establish and maintain HPC by State or local legislation.
- Maintain a system for the survey and inventory of historic properties.
- Provide for adequate public participation in the local historic preservation program, including the process of recommending properties for nomination to the National Register.
- Provide annual report to the State Historic Preservation Officer.
- Comply with the CLG handbook.
- Agree to indemnify and save and hold the Society, its agents, contractors and employees harmless from any and all claims or causes of action arising from the CLGS agreement.

The purpose of achieving CLGS is to strengthen existing local preservation programs and promote the development of new programs. Cities that have CLGS are eligible to apply annually for grants administered through the State Historical Preservation Society from a designated federal pass-through allocation.

## RECOMMENDATIONS

Staff recommends the city council approve the City of Maplewood apply for Certified Local Government Status with the Minnesota State Historic Preservation Office.

P:\com-dev\HPC CLG12-13 -10 City Council meeting

### Attachments:

1. Cover letter for Mayor's signature
2. Minnesota Certified Local Government Procedures Manual

November 18, 2010

Minnesota Historical Society  
Attention: Mike Koop, Historic Preservation Specialist  
345 West Kellogg BLVD  
St. Paul, MN 55102-1906

Dear Mr. Koop;

The City of Maplewood is requesting to become a Certified Local Government (CLG) by the Minnesota State Historic Preservation Office. The City's Historical Preservation Commission, recently renamed the Heritage Preservation Commission, has existed since 1998 and has been working to obtain the CLG designation for about two years. The Heritage Preservation Commission Ordinance was updated to meet the requirements for Certified Local Government.

The City of Maplewood has two Heritage sites, the Bruentrup Heritage Farm and the Ramsey County Poor Farm, which would meet the criteria for a survey of properties for CLG. The Commission has been working with the Maplewood Area Historical Society in a collaborative effort to educate the public and the preserve heritage of Maplewood.

Please find enclosed the contact information for all of the Heritage Preservation Commission members and their resumes for your review.

Thank you for the opportunity to become a Certified Local Government . If you have any questions please contact me at 612-363-6832 or by email at [Will.Rossbach@ci.maplewood.mn.us](mailto:Will.Rossbach@ci.maplewood.mn.us) or the Heritage Preservation Commission Liaison, David Fisher at 651-249-2320 or email at [dave.fisher@ci.maplewood.mn.us](mailto:dave.fisher@ci.maplewood.mn.us).

Sincerely,

Will Rossbach

Mayor City of Maplewood

P HPC Will Letter for CLG

**MINNESOTA  
CERTIFIED LOCAL  
GOVERNMENT  
PROCEDURES  
MANUAL**



**MINNESOTA HISTORICAL SOCIETY**

**STATE HISTORIC PRESERVATION OFFICE**

345 KELLOGG BOULEVARD WEST  
SAINT PAUL, MINNESOTA 55102-1906  
651/296-5451  
[www.mnhs.org](http://www.mnhs.org)

**SEPTEMBER 2002**

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Upon request, this publication can be made available in alternative formats – audiotape, large print, or computer disk.

This program receives Federal funds from the National Park Service. Under Title IV of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973, the U.S. Department of the Interior strictly prohibits discrimination on the basis of race, color, national origin, or disability in its federally assisted programs. If you believe you have been discriminated against in any program, activity, or facility operated by a recipient of federal assistance, or if you desire further information, please write to: Director, Equal Opportunity Program, U.S. Dept. of the Interior, National Park Service, P.O. Box 37127, Washington, D.C. 20013-7127.

## INTRODUCTION

Since its initial enactment in 1966 and through several amendments, the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.), has provided the statutory framework for the national historic preservation partnership. Federal, State, Tribal and local governments have well-defined and significant roles in the identification, evaluation, designation and protection of historic and prehistoric properties. The State Historic Preservation Office (SHPO) develops and administers a comprehensive preservation program which in Minnesota, is housed at the Minnesota Historical Society.

The success of the federal-state relationship prompted Congress to expand the partnership to include local governments in 1980. Local units of government were given the opportunity to participate in the national preservation program by becoming a Certified Local Government (CLG). The role of CLGs in the partnership includes the responsibilities of administering local preservation ordinances, maintaining systems for survey of historic resources, and participating in the National Register of Historic Places program. In order to become certified, a local government must meet several requirements, chief of which are to have enacted an historic preservation ordinance and appointed a qualified Heritage Preservation Commission (HPC). The federal act directs the State Historic Preservation Officer (SHPO) and the Secretary of the Interior to certify local governments to participate in the partnership.

The Certified Local Government program is the primary way through which qualified and interested local governments participate in the national historic preservation partnership. This handbook describes how the CLG program operates in Minnesota.

### I. PURPOSE OF THE CLG PROGRAM

The CLG program seeks to encourage and expand local involvement in preservation issues through a partnership between the CLG and the SHPO. To strengthen existing local preservation programs and to promote the development of new ones, CLGs are eligible to apply annually for grants administered by the SHPO from a designated federal CLG pass-through allocation (see Section VI. Process for Allocating CLG Grant Pass-Through Funds to CLGs). CLGs assume a leadership role by identifying, evaluating and protecting historic resources within their communities; receiving technical advisory services from the SHPO; and having a formal role in the National Register process.

CLGs can choose to assume other responsibilities such as participating in the review of federal projects, reviewing state tax credit projects and administering covenants.

The primary goal of participating in the CLG program is to strengthen the historic preservation program at the local level. The CLG program ensures that historic preservation issues are understood and addressed at the local level and are integrated into the local planning and decision-making process at the earliest possible opportunity. Historic preservation should be considered equally with other planning issues in a CLG and not be viewed as superfluous to decision-making. CLG status can bring pride and official recognition to a community that is committed to historic preservation.

## II. ELIGIBILITY

Any general purpose subdivision of the state, such as a city, town or county, which meets the criteria set forth in this document is eligible to apply for certification.

## III. REQUIREMENTS FOR CERTIFICATION OF LOCAL GOVERNMENTS

Five broad federal standards, all of which must be met by a local government seeking certification, are amplified by the specific Minnesota CLG requirements.

### A. **The local government must enforce appropriate state or local legislation for the designation and protection of historic properties.**

1. The local government must adopt a municipal heritage preservation ordinance under the provisions of Minnesota Statutes 471.193 (Appendix B). The purpose of the ordinance must be clearly stated and be in conformance with definitions set forth in Section 101 (c) (4) of the National Historic Preservation Act, as amended, and 36 CFR 61.6. For the purpose of the CLG program, the Act defines:

“Designation” as “the identification and registration of properties for protection that meet criteria established by the State or the locality for significant historic and pre-historic resources within the jurisdiction of a local government.” Designation includes the identification and registration of resources according to State or local criteria which must be consistent with the Secretary of the Interior’s Standards for Identification and Registration.

“Protection” as “a local review process under State or local law for proposed demolition of, changes to, or other action that may affect historic properties designated pursuant to” a local government becoming a Certified Local Government. The CLG’s local protection review process of the Act applies only to properties designated pursuant to State or local laws and procedures. This would not include properties listed on or determined eligible for the National Register of Historic Places unless such properties also were designated under the appropriate local process.

2. The ordinance must contain a clearly defined process for the survey, designation and protection of individual properties and/or districts of historic, architectural or archaeological significance. Both the criteria for determining significant properties and the procedure for designating those properties must be defined, either within the ordinance or in other procedures adopted by the local government. The process shall include forwarding all proposed designations to the Minnesota SHPO for comment before final local designation is made, pursuant to Minnesota Statutes 471.193 Subd. 6. Properties shall not be removed from designated status except in cases where there has been a procedural or professional error in the designation process or where the property has been destroyed or radically altered. The process for local designation must provide for public comment.

3. The ordinance must contain a clearly defined process for the review of all proposed alterations, relocations, demolition, or new construction within the boundaries of locally designated properties and/or districts. Both the criteria to be utilized in the evaluation of proposed actions and the procedure for reviewing those actions must be clearly stated, either within the ordinance or in other procedures adopted by the local government. The Secretary of the Interior's Standards for Treatment of Historic Properties should be utilized in developing the review criteria (Appendix C). The process of permit review must provide for public comment.
4. The HPC must adhere to Minnesota Statutes 138.17 and the procedures of the State Archives Department, Minnesota Historical Society regarding commission records ([www.mnhs.org/preserve/records/infoleaf9.pdf](http://www.mnhs.org/preserve/records/infoleaf9.pdf)).
5. Local governments should consult 36 CFR 67.8 to insure that local ordinances meet the certification criteria pursuant to the Economic Recovery Tax Act of 1981 and the Tax Reform Act of 1976. Note that certification of a local government under the CLG procedures does not constitute certification of a commission under the preservation tax incentives process.

**B. The local government must establish an adequate and qualified historic preservation commission by State or local legislation.**

1. The local government shall create a heritage preservation commission (HPC) to carry out the provisions of the ordinance.
2. All commission members must have a demonstrated interest, competence or knowledge in historic preservation. If available in the community, at least two members of the HPC shall be drawn from professionals in architecture, history, architectural history, planning, prehistoric and historic archaeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines. Other related professions might include the building trades, real estate or law. For the purposes of commission membership as described in this section, the professional standards stipulated in Appendix A need not be met. One member of the HPC must be a designated representative of the county historical society in which the commission is located, if available, pursuant to the Minnesota Statutes, 471.193 Subd. 5.

Specific disciplines and professional qualifications must be represented on the commission (or professional expertise must be sought) when considering National Register nominations (see III.B.4.) and other actions that will impact properties which are normally evaluated by a professional in such a discipline.

Regarding conflicts of interest, it is federal policy that no person shall participate in the selection, award, or administration of any HPF-assisted program activity, subgrant, contract, or subcontract if a conflict of interest, real or apparent, exists. By definition, "person" includes CLG commission members, agents, or staff. Commissions are encouraged to adopt procedures for a conflict of interest situation. The SHPO can provide examples of the conflict of interest statements used by its boards and committees.

3. The HPC shall meet as often as is necessary to complete the workload in a timely fashion.
4. The HPC's responsibilities regarding local designation of properties and building permit review are mentioned in III.A.2. and III.A.3. above. Federal law prescribes that the commission participate in the National Register nomination process as follows:
  - a. Before a property within the jurisdiction of the Certified Local Government may be considered by the State to be nominated to the Keeper of the National Register for inclusion on the National Register, the SHPO shall notify the owner, the applicable chief local elected official, and the local HPC. The HPC, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property, in its opinion, meets the criteria of the National Register. Within sixty days of notice from the SHPO, the chief local elected official shall transmit the report of the commission and his/her recommendation to the SHPO. Except as provided below, after receipt of such report and recommendation, or if no such report and recommendation are received within sixty days, the State shall make the nomination pursuant to established procedures. The state may expedite such process with the concurrence of the certified local government.

If the HPC chooses to initiate the nomination of a property to the National Register and submits that nomination to the SHPO, the HPC may include the comments of the chief local elected official and the HPC with the initial submittal to the SHPO, along with a request that the 60 day comment period for CLGs be waived. In such cases, the SHPO will give the standard required 30 days notice to both the property owners (s) and the local government of the State Review Board meeting. The required 60 day CLG review period may thus be waived.
  - b. If both the commission and the chief local elected official recommend that property not be nominated to the National Register, the SHPO shall take no further action, unless within thirty days of the receipt of such recommendation by the SHPO an appeal is filed with the State. If such an appeal is filed, the State shall follow the procedures for making nomination pursuant to established procedures. Any report and recommendations made under this section shall be included with any nomination submitted by the State to the Keeper of the National Register.

c. All nominations, when sent by the SHPO to the CLG for comment, will be classified as primarily historic, archaeological, and/or architectural in nature. If an HPC does not have professional expertise in accordance with the necessary federal qualifications in the appropriate area(s)<sup>1</sup> (see Appendix A), the HPC can 1) choose not to comment on that nomination through the CLG review process (in which case it should advise the SHPO of that choice), or 2) obtain the opinion(s) of a qualified professional or qualified professionals in the subject area and consider the opinion(s) in their recommendation. Under 2), both the credentials and the opinion(s) of the consulted professional(s) should be submitted to the SHPO with the CLG recommendation. Even if the HPC chooses not to comment under the CLG process outlined above (e.g., when professional expertise is not available), comments on a nomination may be submitted to the SHPO in as much as any interested party may submit comments. The provisions of 3.b. above, however, would not apply in such cases. The SHPO can provide assistance in locating qualified professionals.

5. Federal guidelines also require that the unit of government and the HPC possess certain financial qualifications in order to receive federal pass-through funds. These will be explained in Section VI.
6. The functions of the HPC must be complimentary to and carried out in coordination with the responsibilities of the SHPO as defined in 36 CFR 61.
7. The SHPO shall make available to HPCs orientation materials and training workshops designed to provide a working knowledge of the roles and operations of federal, state and local preservation programs and historic preservation in general.

**C. The local government must maintain a system for the survey and inventory of historic properties.**

The local government must maintain an ongoing process to survey and inventory all buildings, structures, sites and districts within the local jurisdiction. This survey information must be clearly organized and accessible to the public (excluding restrictions on locations of archaeological sites). The SHPO should be consulted in the initial development of such a system, and the inventory forms of the SHPO should be used or, alternatively, local inventory forms should be approved by the SHPO. The local inventory should clearly indicate those

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<sup>1</sup> For an architectural nomination, the commission must have a member who qualifies under the federal architectural history or historic architecture standards. For a history nomination, the commission must have a member who qualifies under the federal history standards. For an archaeological nomination, the commission must have a member who qualifies under the federal archaeology standards. If a nomination is classified in more than one area, the commission must have expertise in all appropriate areas in order to comment through the CLG comment process.

properties that have been designated locally as well as those listed in the National Register of Historic Places. All surveys should be conducted according to the *Guidelines for SHPO Architecture/History Projects*.

1. The local government must submit a copy of the local inventory form for each locally designated property and district to the SHPO.
2. The local government must advise the SHPO on the status of the local inventory on an annual basis (see E.2.e).
3. The local survey information submitted to the SHPO will be integrated into the statewide inventory. The SHPO may request additional survey and inventory data from the local government as part of the development of the state's comprehensive planning process.

**D. The local government shall provide for adequate public participation in local historic preservation programs, including the process of recommending properties for nomination to the National Register.**

1. All meetings of the commission shall adhere to the Minnesota Open Meeting Law (Minnesota Statutes 471.705).
2. All National Register nominations on which the commission chooses to comment (as outlined under III.B.4. above) must be considered at an open meeting of the commission, with opportunity for public comment.
3. Both the local designation process and the building permit review process (see III.A.2. and III.A.3.) must contain a provision for public comment on proposed actions.
4. Minutes of all commission decisions and actions, including the reasons for making those decisions, must be kept on file and available for public inspection.

**E. The local government shall satisfactorily perform the responsibilities listed in points A-D above and those specifically delegated to it under the Act by the Minnesota SHPO.**

1. The local government will demonstrate performance of the responsibilities listed in points A-D in an annual report to be submitted to the SHPO by October 30 for each preceding year (October 1 - September 30).
2. This report must demonstrate an active commitment of the HPC to an effective community preservation program. It should contain, at minimum, the following information:
  - a. Number, names, and dates of local designations made during the year. (Inventory forms on these sites should have been submitted to the SHPO during the year as part of the local designation process - see III.A.2.).

- b. Number of building permits reviewed during the year, and a summary of findings of the HPC on those reviewed.
  - c. Listing of members and officers of the HPC including preferred mailing address, phone number and e-mail address, resumes for any new members, and an indication of the commissioner who represents the county historical society.
  - d. Listing of 1) National Register nominations on which the HPC has commented, and 2) National Register nominations submitted to the State Historic Preservation Office for nomination, during the year.
  - e. A summary of available inventory information currently included in the local inventory. This might be done with a simple listing of inventoried property addresses. Maps and other material may also be useful. The location of the inventory records should also be indicated.
  - f. Assurances that the HPC has adhered to 1) the public participation provisions as stipulated under Section III.D. and 2) the procedures of the State Archives Department, Minnesota Historical Society, regarding commission records.
  - g. Descriptions of other activities, publications or events undertaken by the HPC during the previous year and planned by the HPC for the coming year.
3. The performance standards for the items listed in III.E.2., above, will be as follows:
- a. The HPC must demonstrate an ongoing process of local designation with a minimum of one designation a year. (In situations where this may not be possible, as in very small cities where the entire area of jurisdiction is designated, the city should explain the reasons for a lack of action.)
  - b. The HPC must show that all permits related to designated properties are being reviewed, according to the procedure set forth in the ordinance.
  - c. The requirements of Section III.B.2 must be met.
  - d. (No minimum.)
  - e. The inventory should be shown to be clearly organized and accessible to the public.
  - f. (No minimum.)
  - g. (No minimum.)

4. At least one member of the HPC must attend SHPO-sponsored training each year. (If attendance at a statewide workshop or conference is not possible, the SHPO should be consulted for an alternate means of meeting this training requirement.) Technical and other information for commissions is available from the SHPO.

#### **IV. PROCESS FOR CERTIFICATION OF LOCAL GOVERNMENTS**

##### **A. The chief elected official of the local government shall request certification from the Minnesota SHPO. The request for certification shall include the following:**

1. A copy of the local historic preservation ordinance.
2. Copies of local inventory forms for all sites and districts locally designated, and a summary of available inventory information on properties not locally designated (property addresses, maps, etc.).
3. Resumes for each of the members of the historic preservation commission. These resumes must clearly show that all members have a demonstrated interest, competence or knowledge in historic preservation, and that at least two members are preservation-related professionals (see III.B.2.). (If these professionals are unavailable, an explanation should be attached.) The resumes should also indicate expertise in the areas of architectural history, archaeology, and history, for the purpose of establishing expertise to review National Register nominations (see III.B.3.c.)

##### **B. SHPO and National Park Service Review**

The SHPO will respond to the chief elected official within 60 working days of the receipt of an adequately documented written request. If the local government meets the criteria for certification, the SHPO will prepare a written certification agreement that lists the specific responsibilities of the local government when certified and forward that agreement to the local government for signature (see Appendix D for model agreement). When the signed agreement is returned to the SHPO the request and agreement will then be forwarded to the National Park Service for review with a request for concurrence. If the NPS does not take exception to the request within 15 working days of receipt, the local government shall be regarded as Certified. A Certification Agreement is not effective until it is signed by the chief elected official and the SHPO, and concurred with in writing by NPS. The effective date of certification is the date of NPS concurrence. When NPS concurs with the SHPO recommendation for certification, NPS will notify the SHPO in writing, and send a copy of that letter to the CLG.

## **V. PROCESS FOR MONITORING AND DECERTIFYING CLGS**

- A.** The SHPO will review the annual reports submitted by certified local governments, records of the administration of funds allocated from the Historic Preservation Fund, and other documents as necessary, to assure that each government is fulfilling the required standards. Other review and monitoring may be conducted as necessary.
- B.** If the SHPO evaluation indicates that the performance of a CLG is inadequate, the SHPO shall document that assessment and delineate for the local government ways to improve performance. The CLG shall have a period of not less than 30, nor more than 180 days to implement improvements. If the SHPO determines that sufficient improvement has not occurred, the SHPO will recommend decertification of the local government to the Secretary of the Interior citing specific reasons for the recommendation.
- C.** If the local government is decertified, the SHPO will conduct financial assistance closeout procedures as specified in the HPF Grants Manual.

## **VI. PROCESS FOR ALLOCATING CLG GRANT PASS-THROUGH FUNDS TO CLGs**

The Minnesota SHPO administers the CLG Grant program and produces and distributes a CLG Grants manual each year that describes the application process, matching requirements and priorities for the given year. Under this program, in accordance with the Department of the Interior requirements for the Historic Preservation Fund programs, at least ten (10) percent of Minnesota's annual HPF appropriation is designated as pass-through funding to Certified Local Governments (CLGs) each year. This pass-through grant program has assisted CLGs across the state of Minnesota build and strengthen their local preservation programs.

The CLG Grants Manual includes information on General Grant Conditions, Eligible Program Activities and Priorities for Projects, the Application Process, Instructions for Completing Application Forms, and Project Administration and Reporting. Application Forms, a sample CLG Grant Agreement and sample Project Description (Attachment A), a CLG Request for Reimbursement Form, Supplemental Information on Allowable Costs, and forms for fiscal documentation are also included. Because federal funds are used for CLG grants, numerous federal regulations apply. Federal regulations will be enforced, and failure on the part of a CLG to meet them will result in the cancellation of a grant project. All work accomplished under these grants must meet the Secretary of the Interior's Standards for Archaeology and Historic Preservation.

Providing matching funds may be an annual prerequisite and is one of the selection criterion for CLG grants. Applicants are encouraged to provide a match that exceeds the minimum requirement. Matching funds may be cash, in-kind and/or donated services or materials contributed to the project or a combination of the three.

There are six areas of eligible program activity for CLG grants: (A) Comprehensive Planning; (B) Survey; (C) Evaluation; (D) Local Designation Forms; (E) National Register Nomination Forms; and (F) Public Education. The CLG Grants Manual provides guidance and examples for each category. Projects receive special priority are those that: reflect the goals and strategies in the statewide preservation plan; promote sound preservation planning through historic context development and the completion of historic and archaeological surveys; result in local designations; and involve properties associated with the history of heretofore under-documented groups or communities (ethnic or racial minorities for example, but also other groups defining themselves as communities).

Projects will be evaluated on the following criteria (total points available 100):

1. How well the applicant addresses questions for each category in the CLG Grants Manual (0-25 points);
2. How well the annual priorities and criteria outlined in the CLG Grants Manual are addressed and how well the project is related to the state preservation plan (0-15 points);
3. Clearly stated measurable goals that can be realistically attained within the funding period (0 to 15 points);
4. Demonstrated community support and leveraged funds (0 to 15 points);
5. Products and past performance of previously administered CLG grants (0 to 15 points);
6. Quality and practicality of the budget (0 to 15 points).

The CLG Grants Manual is available by contacting the Grants Office at the Minnesota Historical Society, 345 Kellogg Boulevard West, St. Paul, MN 55102-1906; telephone (651) 296-5478.

## APPENDIX A

### PROFESSIONAL QUALIFICATIONS STANDARDS

The following requirements are those used by the National Park Service, and have been previously published in the Code of Federal Regulations, 36 CFR 61. The qualifications define minimum education and experience required to perform identification, evaluation, registration, and treatment activities. In some cases, additional areas or levels of expertise may be needed, depending on the complexity of the task and the nature of the historic properties involved. In the following definitions, a year of full-time professional experience need not consist of a continuous year of full-time work, but may be made up of discontinuous periods of full-time or part-time work adding up to the equivalent of a year of full-time experience.

#### History

The minimum professional qualifications in history are a graduate degree in history or closely related field; or a bachelor's degree in history or closely related field plus one of the following:

1. At least two years of full-time experience in research, writing, teaching, interpretation, or other demonstrable professional activity with an academic institution, historic organization or agency, museum, or other professional institution; or
2. Substantial contribution through research and publication to the body of scholarly knowledge in the field of history.

#### Archaeology

The minimum professional qualifications in archaeology are a graduate degree in archaeology, anthropology, or closely related field plus:

1. At least one year of full-time professional experience or equivalent specialized training in archaeological research, administration or management;
2. At least four months of supervised field and analytic experience in general North American archaeology; and
3. Demonstrated ability to carry research to completion.

In addition to these minimum qualifications, a professional in prehistoric archaeology shall have at least one year of full-time professional experience at a supervisory level in the study of archaeological resources of the prehistoric period. A professional in historic archaeology shall have at least one year of full-time professional experience at a supervisory level in the study of archaeological resources of the historic period.

## **Architectural History**

The minimum professional qualifications in architectural history are a graduate degree in architectural history, art history, historic preservation, or closely related field, with course work in American architectural history; or a bachelor's degree in architectural history, art history, historic preservation or closely related field plus one of the following:

1. At least two years of full-time experience in research, writing, or teaching in American architectural history or restoration architecture with an academic institution, historic organization or agency, museum, or other professional institution; or
2. Substantial contribution through research and publication to the body of scholarly knowledge in the field of American architectural history.

## **Architecture**

The minimum professional qualifications in architecture are a professional degree in architecture plus at least two years of full-time experience in architecture; or a State license to practice architecture.

## **Historic Architecture**

The minimum professional qualifications in historic architecture are a professional degree in architecture or a State license to practice architecture, plus one of the following:

1. At least one year of graduate study in architectural history, preservation planning, or closely related field; or
2. At least one year of full-time professional experience on historic preservation projects.

Such graduate study or experience shall include detailed investigations of historic structures, preparation of historic structures research reports, and preparation of plans and specifications for preservation projects.

## APPENDIX B

### State Enabling Legislation for Heritage Preservation Commissions (from 2001 Minnesota Statutes)

#### 471.193 MUNICIPAL HERITAGE PRESERVATION.

Subdivision 1. Policy. The legislature finds that the historical, architectural, archaeological, engineering, and cultural heritage of this state is among its most important assets. Therefore, the purpose of this section is to authorize local governing bodies to engage in a comprehensive program of historic preservation, and to promote the use and conservation of historic properties for the education, inspiration, pleasure, and enrichment of the citizens of this state.

Subd. 2. Heritage preservation commissions. The governing body of a statutory or home rule charter city, county, or town as described in section 368.01, subdivisions 1 and 1a may establish a heritage preservation commission to preserve and promote its historic resources according to this section.

Subd. 3. Powers. The powers and duties of any commission established pursuant to this section may include any power possessed by the political subdivision creating the commission, but shall be those delegated or assigned by the ordinance establishing the commission. These powers may include:

- (1) the survey and designation of districts, sites, buildings, structures, and objects that are of historical, architectural, archaeological, engineering, or cultural significance;
- (2) the enactment of rules governing construction, alteration, demolition, and use including the review of building permits, and the adoption of other measures appropriate for the preservation, protection, and perpetuation of designated properties and areas;
- (3) the acquisition by purchase, gift or bequest, of a fee or lesser interest, including preservation restrictions, in designated properties and adjacent or associated lands which are important for the preservation and use of the designated properties;
- (4) requests to the political subdivision to use its power to eminent domain to maintain or preserve designated properties and adjacent or associated lands;
- (5) the sale or lease of air rights;
- (6) the granting of use variations to a zoning ordinance;
- (7) participating in the conduct of land use, urban renewal, and other planning processes undertaken by the political subdivision creating the commission; and
- (8) the removal of blighting influences, including signs, unsightly structures, and debris, incompatible with the physical well-being of designated properties or areas.

No power shall be exercised by a commission which in contrary to state law or denied a political subdivision by its charter or by law. Powers of a commission shall be exercised only in the manner prescribed by an ordinance and no action of an ordinance unless expressly authorized by the ordinance.

Subd. 4. Exclusion. If a commission is established by the city of St. Paul, it shall for the purpose of this section exclude any jurisdiction over the capitol area as defined in section 15.50, subdivision 2.

Subd. 5. Commission members. Commission members must be persons with demonstrated interest and expertise in historic preservation and must reside within the political subdivision regulated by the ordinance establishing the commission. Every commission shall include, if available, a member of a county historical society of a county in which the municipality is located.

Subd. 6. Communication with the state historic preservation officer. Proposed site designations and design guidelines must be sent to the state historic preservation officer at the Minnesota Historical Society, who shall review and comment on the proposal within 60 days. By October 31 of each year, each commission shall submit an annual report to the state historic preservation officer. The report must summarize the commission's activities, including designations, reviews, and other activities during the previous 12 months.

## APPENDIX C

### SECRETARY OF THE INTERIOR'S STANDARDS FOR TREATMENT OF HISTORIC PROPERTIES

Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.



## ORDINANCE 905

### THE HERITAGE PRESERVATION COMMISSION ORDINANCE

**Section 1** This amendment revises Sections 2-87 to 2-91

#### **DIVISION 4 HERITAGE PRESERVATION COMMISSION (“Commission”)**

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There is hereby established for the City a Heritage Preservation Commission as an independent commission to the City Council, as provided in Minnesota Statutes Annotated Sections 471.193 and 138.51.

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The City Council hereby declares as a matter of public policy that the protection, preservation, perpetuation and use of places, areas, buildings, structures and other objects having a special historical, community or aesthetic interest or value is a public necessity and is required in the interest of the people. The purpose of this Chapter is to:

- (a) Safeguard the cultural resources of the City by preserving sites, structures, districts and landmarks which reflect elements of the City's cultural, social, economic, political or architectural history;
- (b) Protect and enhance the City's attractions to residents and visitors;
- (c) Foster civic pride in the beauty and notable achievements of the past;
- (d) Enhance the visual and aesthetic character, diversity and interest of the City; and
- (e) Promote the use and preservation of historic sites and landmarks for the education and general welfare of the people of the City.

##### **Section 2-89 Advisory body**

All actions of the Commission shall be in the nature of recommendations to the City Council, and said Commission shall have no final authority with reference to any matters, except as the Council may lawfully delegate authority to it.

##### **Section 2-90 Composition; Appointment; Qualifications; Terms**

- (a) The Heritage Preservation Commission shall be composed of seven (7) members appointed by the City Council, who shall be residents of the City, and shall be selected to assure that the Commission is representative of the various areas of the City and responsive to the needs of the people.

**(b)** Commission membership shall be drawn from persons with demonstrated interest and/or expertise in historic preservation. If available in the community, at least two members of the Commission shall be heritage preservation-related professionals (e.g. the professions of history, architecture, architectural history, archeology, planning, real estate, design, building trades, landscape architecture, or law). A member of the Maplewood Heritage Preservation Commission is required to be a representative to the Ramsey County Historical Society. The City shall pay for the membership of the Commission or designee.

**(c)** The members of the Heritage Preservation Commission shall serve staggered terms. All appointments shall be assigned by the city council for a term of three years.

### **Section 2-91 Officers Generally**

The chairperson and vice-chairperson of the Commission shall be elected by the Commission at the first meeting in May of each year from among the members of the Commission. The Chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the Commission. If the Chairperson is unable to attend a meeting, the vice-chairperson shall conduct the meeting.

### **Section 2-92 Designation of historic sites and landmarks**

**(a)** Procedures: The City Council, upon the request of the Commission, may by resolution designate an historic site, landmark, or district. Prior to such designation, the city council shall hold a public hearing, notice of which shall be published at least ten (10) days prior to the date of the hearing. Notice of the hearing shall also be mailed to all owners of property which is proposed to be designated as an historic site, landmark or district and to all property owners within five hundred (500) feet of the boundary of the area to be designated. Every nomination shall be forwarded to the Minnesota Historical Society for review and comment within sixty (60) days of the Commission's request.

**(b)** Eligibility criteria: In considering the designation of any area, site, place, district, building or structure in the city as an historic site, landmark, or district the Commission shall consider the following factors with respect to eligibility:

- (1)** Its character, interest or value as part of the history or cultural heritage of the City, the State or the United States;
- (2)** Its association with persons or events that have made a significant contribution to the cultural heritage of the City;
- (3)** Its potential to yield information important in history or prehistory;
- (4)** Its embodiment of distinguishing characteristics of architectural type or style, or elements of design, detail materials or craftsmanship; and
- (5)** Its unique location or singular physical appearance representing an established or familiar visual feature of a neighborhood or community of the City.

## **Section 2-93 Alterations to landmarks, sites or districts; review**

**(a)** Review and recommendations generally: The Commission shall review and make recommendations to the Council concerning proposed alterations to an historic site, landmark or district.

**(b)** Land use permit: Every application for a land use permit which may result in the alteration of a designated historic site, landmark or district in the City shall be reviewed by the Commission; thereafter, the Commission shall make a recommendation and may recommend conditions regarding approval to the City Council concerning the proposed permit.

**(c)** Other building permits: The Commission shall review and make recommendations to the Council concerning the issuance of building permits to do any of the following in a historic district or State designated historic site:

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- (3)** Move a building – Building or structure moved into the city.
- (4)** Excavation – Dig out materials from the ground.
- (5)** Demolition – Destroy, remove or raze – completely tear down

**(d)** Factors considered: The Commission, upon receipt of the permit application and plans, shall determine if the work to be performed adversely affects the designated historic site, landmark or district. In determining whether or not there is an adverse effect to the historic site, landmark, or district the Commission shall consider the following factors:

**(1)** Whether the work will significantly alter the appearance of the building or structure so as to remove the features which distinguish the historic site, landmark or district as a significant cultural resource.

**(2)** Whether the use of the property will destroy, disturb or endanger a known or suspected archaeological feature site.

**(e)** Standards and guidelines: The Secretary of the Interior's Standards for the Treatment of Historic Properties (listed below) shall be required basis for permit review decisions.

1. The Comprehensive Plan adopted by the City shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts.
2. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
3. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
4. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

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6. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
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8. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
9. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
10. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
11. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**(f)** Appeals: Any party aggrieved by a decision of the Commission shall within ten (10) days of the Commission's action recommending denying the issuance of a building permit within a historic district have a right to appeal such decision to the City Council. The Commission in recommending denial of a building permit shall advise the applicant of his/her right to appeal to the City Council. The aggrieved party shall file with the Building Official a written notice requesting Council review of the action taken by the Commission.

## **Section 2-94 Maintenance of records and documents**

The Commission shall conduct a continuing survey of cultural resources in the City which the Commission has reason to believe are or will be eligible for designation as historic sites, landmarks or districts. The Commission shall also prepare and maintain a Comprehensive map and survey.

**(a)** Register of Historic Sites and Landmarks: The City shall maintain a register of historic sites and landmarks.

**(b)** Repository for Documents: The office of the Building Official is designated as the repository for all studies, surveys, reports, programs, and designations of historic sites and landmarks.

### **Section 2-95 Violation**

It shall be a misdemeanor to alter, disturb, deface or materially change the appearance or use of a designated historic site, landmark, or district without a permit.

This ordinance shall take effect after publishing in the official newspaper.

The Maplewood City Council approved this ordinance on July 11, 2011.

# Affidavit of Publication

State of Minnesota }  
County of Ramsey } SS

ANNE THILLEN, being duly sworn, on oath, says that he/she is the publisher or authorized agent and employee of the publisher of the newspaper known as MAPLEWOOD REVIEW, and has full knowledge of the facts which are stated below:

(A) The newspaper has complied with all of the requirements constituting qualification as a qualified newspaper, as provided by Minnesota Statute 331A.02, 331A.07, and other applicable laws, as amended.

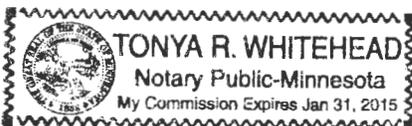
(B) The printed ORDINANCE 905 amended which is attached was cut from the columns of said newspaper, and was printed and published once each week, for 1 successive weeks; it was first published on WEDNESDAY, the 27<sup>TH</sup> day of JULY, 20 11, and was thereafter printed and published on every \_\_\_\_\_ to and including \_\_\_\_\_, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_; and printed below is a copy of the lower case alphabet from A to Z, both inclusive, which is hereby acknowledged as being the size and kind of type used in the composition and publication of the notice:

\*ABCDEFGHIJKLMNPOQRSTUVWXYZ  
\*ABCDEFGHIJKLMNPOQRSTUVWXYZ  
\*abcdefghijklmnopqrstuvwxyz

BY: Ann M. Thullen  
TITLE LEGAL COORDINATOR

Subscribed and sworn to before me on this 27<sup>TH</sup> day of JULY, 20 11.  
Tonya R. Whitehead  
Notary Public

\*Alphabet should be in the same size and kind of type as the notice.



### RATE INFORMATION

- (1) Lowest classified rate paid by commercial users for comparable space.....\$25.00 per col. inch
- (2) Maximum rate allowed by law for the above matter .....\$25.00 per col. inch
- (3) Rate actually charged for the above matter .....\$ \_\_\_\_\_ per col. inch

## ORDINANCE 905

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(Review: July 27, 2011)

MEMORANDUM

TO: James Antonen, City Manager  
FROM: David Fisher, Building Official  
Chuck Ahl, Assistant City Manager  
**SUBJECT: Heritage Preservation Commission Ordinance Amendments –  
Consider Approval of the First Reading**  
DATE: June 20, 2011, for the June 27, 2011, City Council Meeting

**INTRODUCTION**

The Heritage Preservation Commission (HPC) Ordinance Amendments are being considered tonight for approval. This is the first reading. The purpose of these amendments is to clarify the criteria for reviewing applications of historical sites, landmarks and buildings. The goal is to obtain approval from the city council and resubmit the ordinance to the Minnesota State Historical Preservation Society Office (MSHPSO) for Certified Local Government Status (CLGS).

**BACKGROUND**

Over the past two years the HPC has been reviewing the HPC Ordinance so the city can achieve CLGS. The purpose of achieving CLGS is to strengthen existing local preservation programs and promote the development of new programs. Cities that have CLGS are eligible to apply annually for grants administered through the State Historical Preservation Society from a designated federal pass-through allocation.

The current HPC Ordinance was adopted by the city council on June 28, 2010. The HPC was established as an independent advisory commission to the city council. The HPC Ordinance was adopted to engage the city in a comprehensive program of historic preservation and promote the use and conservation of historic properties for the education, inspiration, pleasure and enrichment of the community.

**DISCUSSION**

The HPC Ordinance needs to be amended for the second time. The updated HPC Ordinance was submitted to the MSHPO in December of 2010. On February 8, 2011, the MSHPO replied to the submittal and found some items that were overlooked in the previous HPC Ordinance amendment.

The HPC Ordinance has been amended with the recommendations from the MSHPO. In Section 2-90(a) the word "Preservation" was added. In Section 2-93(e) 2,3,4,5,6,7,8,9,10,and11 language was added to clarify the standards and guidelines that are used when reviewing historic sites, properties or project permits.

**RECOMMENDATIONS**

1. Approve the first reading of the Heritage Preservation Commission Ordinance amendments.

P:\com-dev\HPC\ memo first reading June 27, 2011CCmeeting

Attachment: 1. Amendment Ordinance 905 Heritage Preservation Commission Ordinance

## AMENDMENT ORDINANCE 905

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- (4)** Excavation – Dig out materials from the ground.
- (5)** Demolition – Destroy, remove or raze – completely tear down

**(d)** Factors considered: The Commission, upon receipt of the permit application and plans, shall determine if the work to be performed adversely affects the designated historic site, landmark or district. In determining whether or not there is an adverse effect to the historic site, landmark, or district the Commission shall consider the following factors:

**(1)** Whether the work will significantly alter the appearance of the building or structure so as to remove the features which distinguish the historic site, landmark or district as a significant cultural resource.

**(2)** Whether the use of the property will destroy, disturb or endanger a known or suspected archaeological feature site.

**(e)** Standards and guidelines: The Secretary of the Interior's Standards for the Treatment of Historic Properties (listed below) shall be required basis for permit review decisions.

1. The Comprehensive Plan adopted by the City shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts.
2. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
3. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
4. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
5. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
6. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

7. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
8. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
9. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
10. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
11. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**(f)** Appeals: Any party aggrieved by a decision of the Commission shall within ten (10) days of the Commission's action recommending denying the issuance of a building permit within a historic district have a right to appeal such decision to the City Council. The Commission in recommending denial of a building permit shall advise the applicant of his/her right to appeal to the City Council. The aggrieved party shall file with the Building Official a written notice requesting Council review of the action taken by the Commission.

### **Section 2-94 Maintenance of records and documents**

The Commission shall conduct a continuing survey of cultural resources in the City which the Commission has reason to believe are or will be eligible for designation as historic sites, landmarks or districts. The Commission shall also prepare and maintain a Comprehensive map and survey.

**(a)** Register of Historic Sites and Landmarks: The City shall maintain a register of historic sites and landmarks.

**(b)** Repository for Documents: The office of the Building Official is designated as the repository for all studies, surveys, reports, programs, and designations of historic sites and landmarks.

### **Section 2-95 Violation**

It shall be a misdemeanor to alter, disturb, deface or materially change the appearance or use of a designated historic site, landmark, or district without a permit.

This Heritage Preservation Commission recommended approval of this ordinance.

This ordinance shall take effect after publishing in the official newspaper. The Maplewood City Council approved this ordinance.

---

Will Rossbach, Mayor

Attest:

---

Karen Guilfoile, City Clerk

For each residential site the fee for a permit is as may be imposed, set, established and fixed by the City Council, by resolution, from time to time.

Sec. 10-486. Term.

The permit period under this section shall expire one (1) year from the date the permit is issued.

Sec. 10-487. Revocation.

The city manager may revoke any permit issued under this ordinance if the person holding the permit refuses or fails to comply with this ordinance, with any regulations promulgated by the city council pursuant to this ordinance, or with any state or local law governing cruelty to animals or the keeping of animals. Any person whose permit is revoked shall, within ten (10) days thereafter, humanely dispose of all chickens being owned, kept or harbored by such person, and no part of the permit fee shall be refunded.

Seconded by Councilmember Nephew

Ayes – Mayor Rossbach, Councilmembers Koppen, Llanas, Nephew  
Nays – Councilmember Juenemann

The motion passed.

Councilmember Koppen moved to set the Chicken Permit fee of \$75 for initial application and \$50 for renewals.

Seconded by Mayor Rossbach

Ayes – Mayor Rossbach, Councilmembers Koppen, Llanas, Nephew  
Nays – Councilmember Juenemann

The motion passed.

**3. Heritage Preservation Ordinance Amendments – Consider Approval of the Second Reading**

Councilmember Nephew moved to approve the Second Reading of the Heritage Preservation Ordinance Amendments.

Seconded by Councilmember Juenemann

Ayes – All

The motion passed.

**J. NEW BUSINESS**

**1. Conditional Use Permit / Parking Lot Setback Violation, Merit Chevrolet, 2695 Brookview Drive**

Assistant City Manager Ahl presented the report informing the council that Merit Chevrolet has agreed to all of the changes requested by staff that brings them into compliance of the conditional use permit.

**2. Consider Resolution Opposing County-Wide Taxes to Support Stadium Proposal**

Councilmember Nephew moved to approve the Resolution Opposing County-Wide Taxes to Support Stadium Proposal as submitted.

Sec. 2-301. - Authority for establishment.

There is hereby established for the city a heritage preservation commission as an independent commission to the city council, as provided in Minn. Stats. §§ 471.193 and 138.51.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-87), 7-11-2011)

Sec. 2-302. - Statement of public policy and purpose.

The city council hereby declares as a matter of public policy that the protection, preservation, perpetuation and use of places, areas, buildings, structures and other objects having a special historical, community or aesthetic interest or value is a public necessity and is required in the interest of the people. The purpose of this division is to:

- (1) Safeguard the cultural resources of the city by preserving sites, structures, districts and landmarks which reflect elements of the city's cultural, social, economic, political or architectural history;
- (2) Protect and enhance the city's attractions to residents and visitors;
- (3) Foster civic pride in the beauty and notable achievements of the past;
- (4) Enhance the visual and aesthetic character, diversity and interest of the city; and
- (5) Promote the use and preservation of historic sites and landmarks for the education and general welfare of the people of the city.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-88), 7-11-2011)

Sec. 2-303. - Advisory body.

All actions of the commission shall be in the nature of recommendations to the city council, and said commission shall have no final authority with reference to any matters, except as the council may lawfully delegate authority to it.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-89), 7-11-2011)

Sec. 2-304. - Composition; appointment; qualifications; terms.

- (a) The heritage preservation commission shall be composed of seven members appointed by the city council, who shall be residents of the city, and shall be selected to assure that the commission is representative of the various areas of the city and responsive to the needs of the people.
- (b) Commission membership shall be drawn from persons with demonstrated interest and/or expertise in historic preservation. If available in the community, at least two members of the commission shall be heritage preservation-related professionals (e.g., the professions of history, architecture, architectural history, archeology, planning, real estate, design, building trades, landscape architecture, or law). A member of the Maplewood Heritage Preservation Commission is required to be a representative to the Ramsey County Historical Society. The city shall pay for the membership of the commission or designee.
- (c) The members of the heritage preservation commission shall serve staggered terms. All appointments shall be assigned by the city council for a term of three years.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-90), 7-11-2011)

Sec. 2-305. - Officers; generally.

The chairperson and vice-chairperson of the commission shall be elected by the commission at the first meeting in May of each year from among the members of the commission. The chairperson shall be responsible for calling and presiding over all meetings and shall be entitled to an equal vote with other members of the commission. If the chairperson is unable to attend a meeting, the vice-chairperson shall conduct the meeting.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-91), 7-11-2011)

Sec. 2-306. - Designation of historic sites and landmarks.

- (a) *Procedures.* The city council, upon the request of the commission, may by resolution designate an historic site, landmark, or district. Prior to such designation, the city council shall hold a public hearing, notice of which shall be published at least ten days prior to the date of the hearing. Notice of the hearing shall also be mailed to all owners of property which is proposed to be designated as an historic site, landmark or district and to all property owners within 500 feet of the boundary of the area to be designated. Every nomination shall be forwarded to the Minnesota Historical Society for review and comment within 60 days of the commission's request.
- (b) *Eligibility criteria.* In considering the designation of any area, site, place, district, building or structure in the city as an historic site, landmark, or district, the commission shall consider the following factors with respect to eligibility:
  - (1) Its character, interest or value as part of the history or cultural heritage of the city, the state or the United States;
  - (2) Its association with persons or events that have made a significant contribution to the cultural heritage of the city;
  - (3) Its potential to yield information important in history or prehistory;
  - (4) Its embodiment of distinguishing characteristics of architectural type or style, or elements of design, detail materials or craftsmanship; and
  - (5) Its unique location or singular physical appearance representing an established or familiar visual feature of a neighborhood or community of the city.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-92), 7-11-2011)

Sec. 2-307. - Alterations to landmarks, sites or districts; review.

- (a) *Review and recommendations generally.* The commission shall review and make recommendations to the council concerning proposed alterations to an historic site, landmark or district.
- (b) *Land use permit.* Every application for a land use permit which may result in the alteration of a designated historic site, landmark or district in the city shall be reviewed by the commission; thereafter, the commission shall make a recommendation and may recommend conditions regarding approval to the city council concerning the proposed permit.
- (c) *Other building permits.* The commission shall review and make recommendations to the council concerning the issuance of building permits to do any of the following in a historic district or state designated historic site:
  - (1) New construction - New building or new addition to an existing building.
  - (2) Remodel - Alter, change or modify building or site.
  - (3) Move a building - Building or structure moved into the city.

- (4) Excavation - Dig out materials from the ground.
  - (5) Demolition - Destroy, remove or raze - completely tear down.
- (d) *Factors considered.* The commission, upon receipt of the permit application and plans, shall determine if the work to be performed adversely affects the designated historic site, landmark or district. In determining whether or not there is an adverse effect to the historic site, landmark, or district the commission shall consider the following factors:
- (1) Whether the work will significantly alter the appearance of the building or structure so as to remove the features which distinguish the historic site, landmark or district as a significant cultural resource.
  - (2) Whether the use of the property will destroy, disturb or endanger a known or suspected archaeological feature site.
- (e) *Standards and guidelines.* The Secretary of the Interior's Standards for the Treatment of Historic Properties (listed below) shall be required basis for permit review decisions:
- (1) The comprehensive plan adopted by the city shall be the authoritative guide to reviewing permits in relation to designated historic sites, landmarks and historic districts.
  - (2) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
  - (3) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
  - (4) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
  - (5) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
  - (6) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
  - (7) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
  - (8) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
  - (9) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
  - (10) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
  - (11) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- (f) *Appeals.* Any party aggrieved by a decision of the commission shall within ten days of the commission's action recommending denying the issuance of a building permit within a historic district have a right to appeal such decision to the city council. The commission in recommending denial of a building permit shall advise the applicant of his/her right to appeal to the city council. The aggrieved

party shall file with the building official a written notice requesting council review of the action taken by the commission.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-93), 7-11-2011)

Sec. 2-308. - Maintenance of records and documents.

The commission shall conduct a continuing survey of cultural resources in the city which the commission has reason to believe are or will be eligible for designation as historic sites, landmarks or districts. The commission shall also prepare and maintain a comprehensive map and survey.

- (1) *Register of historic sites and landmarks.* The city shall maintain a register of historic sites and landmarks.
- (2) *Repository for documents.* The office of the building official is designated as the repository for all studies, surveys, reports, programs, and designations of historic sites and landmarks.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-94), 7-11-2011)

Sec. 2-309. - Violation.

It shall be a misdemeanor to alter, disturb, deface or materially change the appearance or use of a designated historic site, landmark, or district without a permit.

(Ord. No. 905, § 1, 6-28-2010; Ord. No. 905(Rev.), § 1(2-95), 7-11-2011)

Sec. 2-310. - Reserved.



# United States Department of the Interior

NATIONAL PARK SERVICE  
1849 C Street, N.W.  
Washington, D.C. 20240

H36(2256)

Mr. Michael Koop  
Minnesota Historical Society  
345 Kellogg Boulevard West  
Saint Paul, MN 55102-1906

MAR 22 2012

Dear Mr. Koop:

Thank you for forwarding the necessary documentation concerning the City of Maplewood's application for participation in the Certified Local Government (CLG) Program. I have reviewed your submission and am pleased to concur in your recommendation that Maplewood be certified under the provision of Section 101(c) of the National Historic Preservation Act. The date of certification will be recorded as the date of this letter. We are also providing a copy of this letter to the City of Maplewood.

If you have any questions about this letter, please feel free to contact me by phone at 202-354-2062, or by email at [megan\\_brown@nps.gov](mailto:megan_brown@nps.gov).

Sincerely,

Megan J. Brown  
Certified Local Government Program Coordinator

cc: David Fisher, City of Maplewood

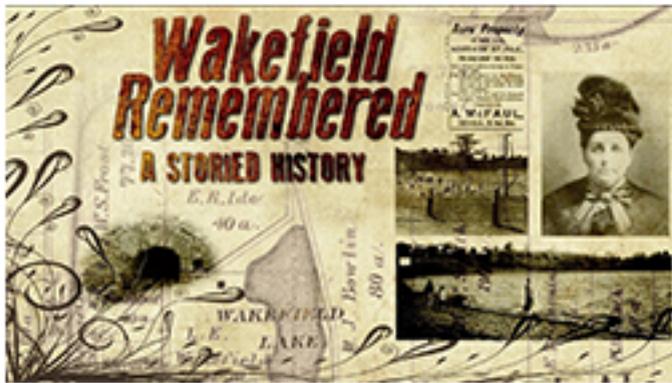


# HERITAGE PRESERVATION COMMISSION

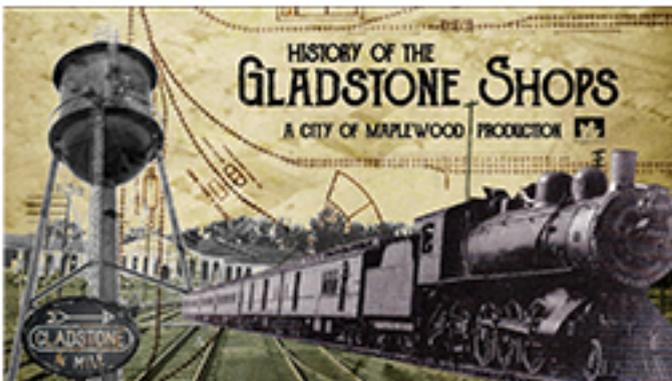
## 2020 ANNUAL REPORT

### Purpose

The Heritage Preservation Commission (HPC) is charged with preserving significant historic resources in Maplewood. It pursues this by recommending to City Council sites to designate as historic landmarks and by providing design review for designated sites.



The HPC worked with City staff to create history videos



Commissioners hosted staff from St. Paul Water

McCarron's  
WTP Project:  
Historical  
Considerations

May 2022



The HPC created a sign for Lookout Park



HPC - (left to right) Steve Lukin, Jason DeMoe, John Gaspar, Bob Cardinal, Richard Currie, Margaret Fett, and City Council liasion Nikki Villavicencios

**Peter Boulay** - Chair  
Member Since 10/09/06; Term Expires 4/30/21

**Richard Currie** - Vice Chair Member  
Since 07/26/04; Term Expires 4/30/19

**Jason DeMoe** - Member  
Member Since 09/11/17; Term Expires 04/30/20

**Bob Cardinal** - Member  
Member Since 01/25/16; Term Expires 4/30/21

**Margaret Fett** - Member Member Since 11/27/17; Term Expires 4/30/19

**John Gaspar** - Member  
Member Since 01/14/13; Term Expires 4/30/20

### Preservation Programs

#### **National Register of Historic Places**

*Ramsey County Poor Farm Barn*  
Owner: Ramsey County

#### **Maplewood Heritage Landmarks**

*Bruentrup Heritage Farm*  
Owner: City of Maplewood

#### **Gladstone Savanna Neighborhood Preserve**

Owner: City of Maplewood

#### **Century Homes**

There are 136 homes over 100 years old in Maplewood.



*Bruentrup Heritage Farm*



## 2020 Review and Accomplishments

1. Maintained MN Certified Local Government (CLG) status by meeting the requirements listed in the MN CLG Procedures Manual.
2. 2018 Maplewood Heritage Award. Prepared nominations and recommended Ronald Cockriel receive the 2018 Maplewood Heritage Award.
3. 2019 Maplewood Heritage Award. Prepared nominations and recommended Gary Bastian receive the 2019 Maplewood Heritage Award.
4. Met with representatives from Ramsey County regarding renovations and ramp demolition of exterior stairway of the Poor Farm Barn
5. Gladstone Savanna Event. Partnered with the Parks Department and Maplewood Area Historical Society on A Trip Through Time, the August 2nd event celebrating Gladstone Savanna.
6. Lookout Park Signage. Installed interpretive sign honoring Lookout Park – the smallest park in the City of Maplewood.
7. Hazelwood Fire Station. Gathered historic photos and information on Hazelwood Fire Station
8. Reviewed following projects:
  - a. Historical Resources Chapter of 2040 Comprehensive Plan.
  - b. Preliminary Section 106 information for Gold Line Bus Rapid Transit.
9. Recognized the following buildings that were demolished in 2019:
  - a. 1905 Radatz Avenue East, house
  - b. 1844 PHALEN PL N, house
  - c. 2780 MAPLEWOOD DR N, Morries Mercedes Benz
  - d. 497 CENTURY AVE N, house fire
  - e. 1448 COUNTY ROAD C E, First Evangelical Free Church, building
  - f. 671 FERNDAL ST N, breezeway
  - g. 2732 MAPLEWOOD DR N, Don't Paint and Collision Center
10. Commissioner Boulay and Leon Axtman represented the commission at meetings discussing the Rush Line Bus Rapid Transit stations.
11. Documented oral history of the Hazelwood Fire Station with an in-depth interview with Steve Lukin  
<http://vod.maplewoodmn.gov/CablecastPublicSite/show/975?channel=1>
12. Review St. Paul Regional Water Services McCarron Plant renovation
13. Reviewed Rush Line 1868 Rail Bed as part of the Section 106 Review of the project.



*Proposed Historical  
Documentation Efforts:*  
**St. Paul Regional Water  
Services**

*Coffee Table Book* -- Photos and writing covering the history of the facility (copies potentially provided to local libraries)

*Video Documentary* -- Interviews with former/current staff, photos, Ken Burns style narration

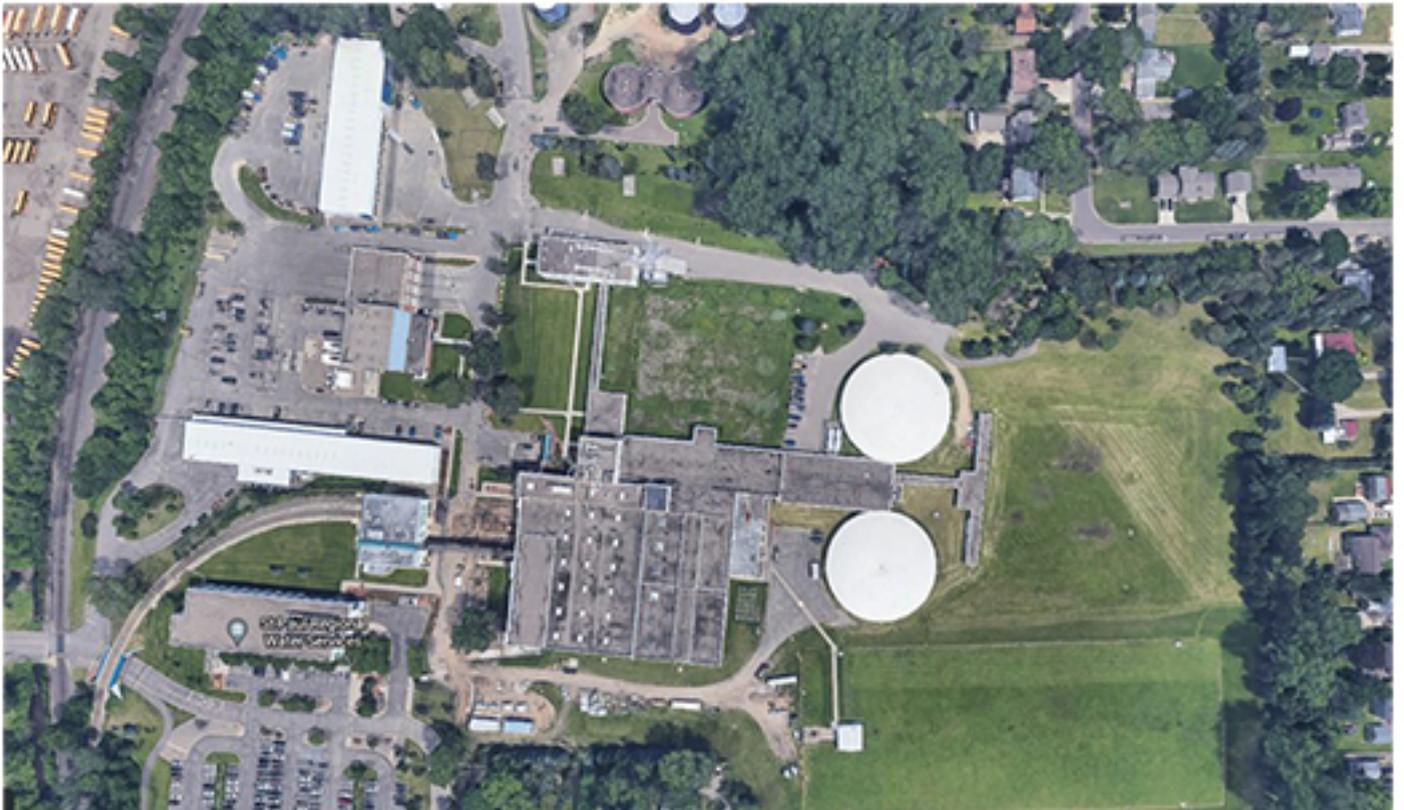
Opportunities to partner with local historical groups

Possible partnership with professional firms (corporate historians, etc.)





# St. Paul Regional Water Services





# 2020 HPC Commission Goals

## Preservation and Planning

1. Complete work on local designation for Ramsey County Cemetery.
2. Prepare application and designate one new historic site.
3. Submit grant and begin additional survey work on historic sites and structures.

## Research and Documentation

4. Document history of important buildings in the Gladstone Area.
5. Take photos of buildings that are likely to be removed.

## Research and Documentation

6. Make recommendation for 2021 Heritage Award.
7. Support Maplewood Communications team with historic information as needed for videos.
8. Partner with Maplewood Area Historical Society to develop an auto tour or walking tour of significant historic sites.
9. Put out a call for photos on various topics or time periods.



Wakefield Park -- 1960s



The historic LS&M Rail Corridor traveled within the right-of-way that was later purchased by Ramsey County for future use and is currently in use as the Bruce Vento Trail. The Corridor is listed in the National Register of Historic Places, as a first and direct rail connection between St. Paul and Duluth. The proposed Rush Line BRT Project would share the Ramsey County rail right-of-way with the Bruce Vento Trail.

Photo courtesy of the Maplewood Historical Society

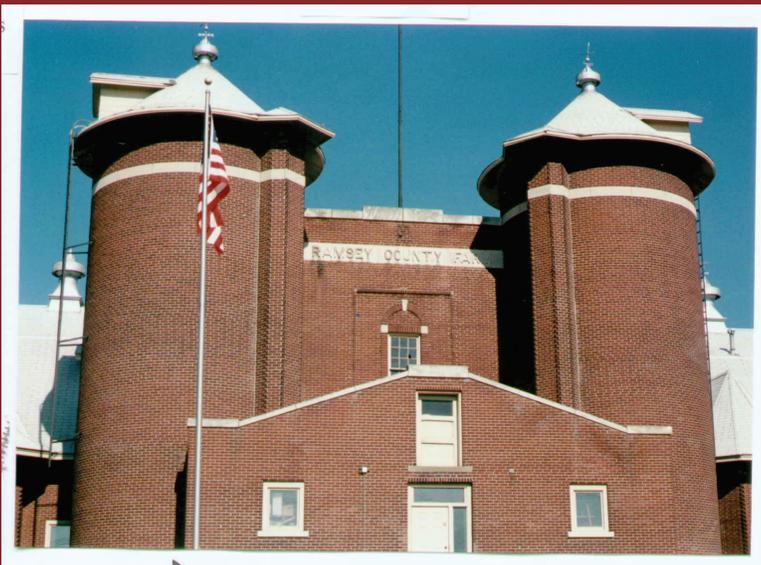
# Maplewood

HERITAGE PRESERVATION COMMISSION  
2022 ANNUAL REPORT



## Purpose

The Heritage Preservation Commission (HPC) is charged with preserving significant historic resources in Maplewood. It pursues this by recommending to City Council sites to designate as historic landmarks and by providing design review for designated sites.



## Ramsey County Poor Farm

2020 White Bear Ave, Maplewood, MN

Minnesota's first poor farm was founded by pioneer landholders in Ramsey County in 1854, making it one of the first residential facilities in Minnesota Territory.

## Commissioners

Bob Cardinal, Chair

Appointed 1/25/2016

term expires 4/30/2024

Richard Currie, Vice Chair

Appointed 7/26/2004

term expires 4/30/2026

John Gaspar, (Architect)

Appointed 1/14/2013

term expires 4/30/2023

Jason DeMoe

Appointed 10/12/2020

term expires 4/30/2023

David Hughes (Historian)

Appointed 10/25/21

term expires 4/30/2026

Barbara Kearn (Historian)

Appointed 10/25/21

term expires 4/30/2024

Margaret Fett

Appointed 11/27/2017

term expires 4/30/2022

- did not renew

## Accomplishments:

### Two new members joined Commission

Both are retired history teachers whose credentials fill the needs of our History member requirement.

### Recruitment

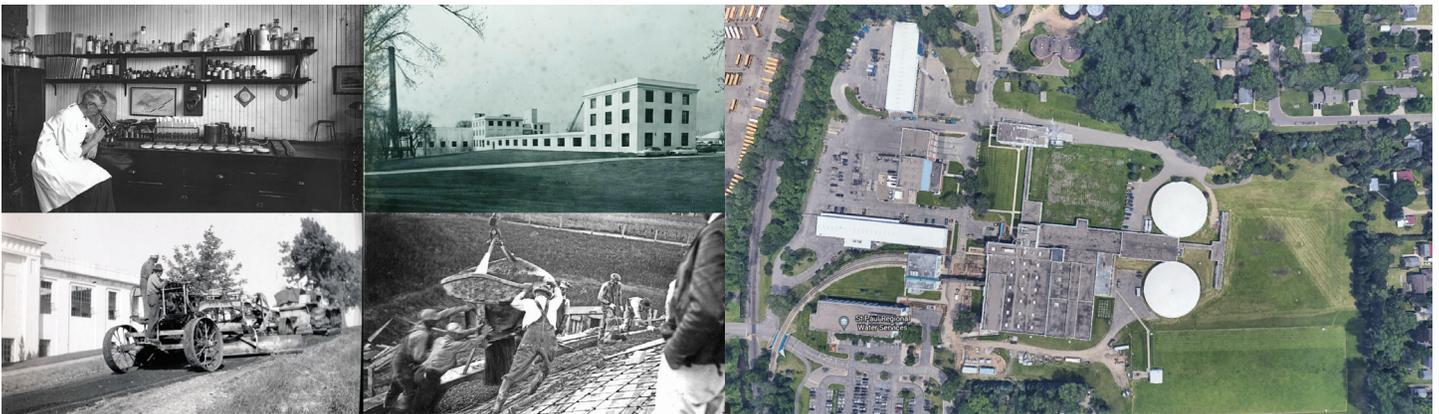
Actively recruiting for someone from a diverse community or who has one of the professional credentials required by SHPO.

### Training

The Commission Chair, Commission member, and Staff Liaison attended Preserve MN Conference in Duluth, September 2022.

### 106 Reviews:

St. Paul Regional Water Service plant upgrade -- The historically significant structure couldn't be saved. As a way to commemorate the site, there are plans for a coffee table book and video documentary.



The American Coop at Lake Phalen (1875 East Shore Drive North), a Senior Housing development. No historic properties nor recorded archeological sites were found within the area of potential effect.



### Property Preservation Efforts

Began exploring the possibility of an historic designation for St. Jerome's for its architectural significance and its long support of hosting and educating several waves of immigrants and refugees.

**Three-year strategic plan**, with an emphasis on Diversity Equity and Inclusion (DEI). It includes:

- Creating an interactive website documenting key dates in the city's history.
- Oral history of residents from diverse backgrounds on why they chose Maplewood.
- Study/evaluate historic significance of key Maplewood properties/locations.

## Awards:

While the Commission continued to meet virtually during the pandemic and nominate and award people for the annual Maplewood Heritage Award, we were not able to have an official in-person ceremony. We were able to recognize those people at an April City Council Meeting. Awardees include:



2019: Gary Bastion for his efforts to preserve land and open space as a former mayor. His work led to the dedication of the Gladstone Savannah, which housed the old rail road shops.

2020: Janice Quick for her efforts to collect and share Maplewood's history, which include books, magazine contributions, lectures and walking tours.

2021: Pete Boulay for his on-going volunteerism to the commission and his efforts to collect and share Maplewood's history, which include books, magazine contributions, and lectures.

## Documenting Properties

Documented with photos and drone video the decommissioned Londin Fire Station (2501 Londin Ln E.) before its demolition.



Documented with photos and drone video the old Menards (2280 Maplewood Dr E.) before demolition to re-build a new Menards on the site.

Documented with photos and drone video Moose Lodge (1946 English St) prior to the City preparing to put it on the market.



Documented with photos and drone video the Gladstone House (1373 Frost Ave) prior to its tentative sale.

## Established Preservation Programs

National Register of Historic Places  
Ramsey County Poor Farm Barn  
Owner: Ramsey County

Maplewood Heritage Locally Designated Landmarks  
Bruentrup Heritage Farm  
Owner: City of Maplewood

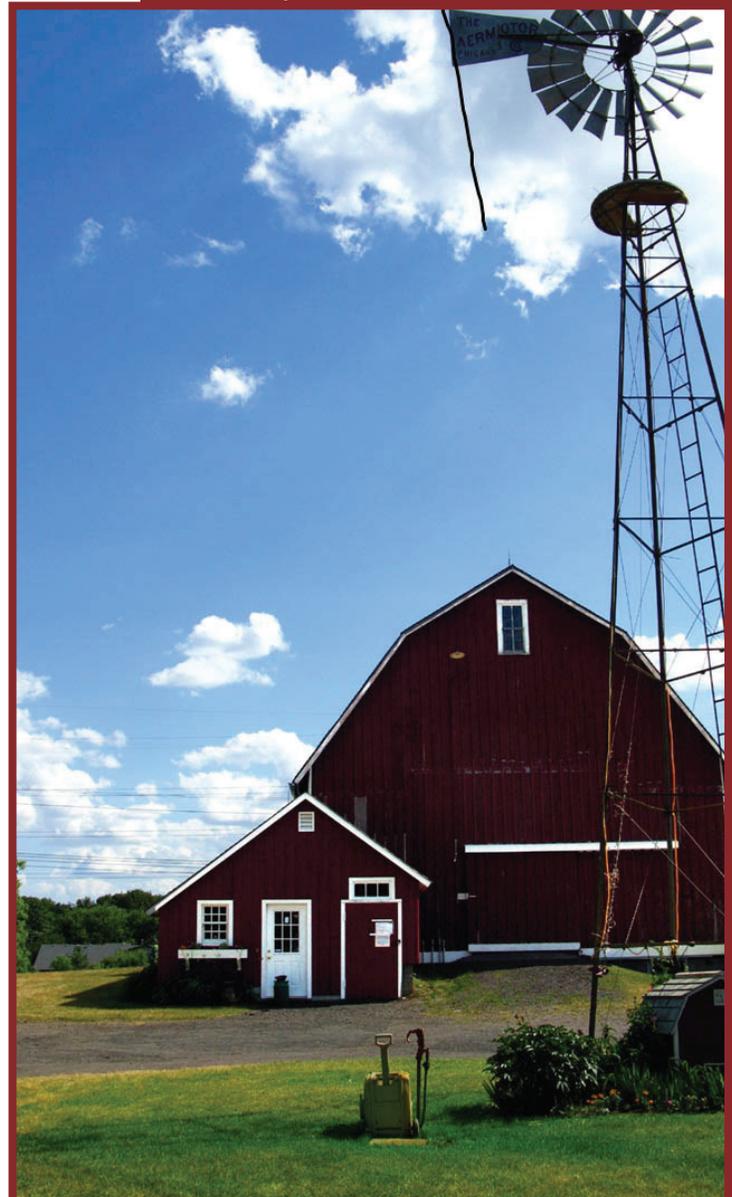
Gladstone Savanna Neighborhood Preserve  
Owner: City of Maplewood

Century Homes  
More than 130 homes over 100 years old

**Bruentrup  
Heritage Farm**  
2170 County Rd D E,  
Maplewood, MN 55109

The Bruentrup Heritage farm was established in 1891. William Bruentrup married Ida Wagner and the bride's family gave them 40 acres of land along White Bear Avenue as a wedding present. They added land until it reached 175 acres. Four generations of the family have farmed there. The farmhouse was somewhat modernized in 1912.

Over the years the surrounding land was being developed. A large part of the Bruentrup property had been sold, including the many acres where Maplewood Mall is now located. In 1997 the developers offered the Bruentrup family a very good price for their land. The Bruentrup's offered the City of Maplewood the first chance to buy it. The City sent out a questionnaire to the citizens of Maplewood. The responses were very positive to the idea of saving the farm in that location.



December 2, 2022

Sarah Beimers, Environmental Review Program Manager  
Minnesota State Historic Preservation Office  
Administration Building  
50 Sherburne Avenue, #203  
St. Paul, MN 55155-1402

RE: METRO Purple Line (formerly Rush Line) Bus Rapid Transit, Ramsey County, Minnesota; 30% Plan Review, SHPO #2019-0958

Dear Ms. Beimers,

The Federal Transit Administration (FTA) is writing to continue consultation for the Purple (formerly Rush) Line Bus Rapid Transit (BRT) Project (Project). Under delegation from FTA and as per the terms of the Project's Memorandum of Agreement (MOA), Metropolitan Council's Preservation Lead staff meeting the Secretary of the Interior's Professional Qualification Standards (48 FR 44738-44739) reviewed project plans at the 30% design stage (per Stipulation VI.C.) in order to:

. . . recommend to FTA whether revisions are necessary to the Project's APE, whether any Project design changes may result in a change to FTA's finding of effect, whether the design requirements of Stipulation V have been met, and whether the plans incorporate commitments made to the Consulting Parties through consultation under Stipulations VI and XII.

The 30% plans do not extend north beyond Beam Avenue as the Project's northern terminus is being redesigned. In March 2022, the City of White Bear Lake passed a resolution asking that the project not enter White Bear Lake; therefore, the corridor design north of Beam Avenue to the end of the corridor has been excluded from the 30% Volume A submittal due to the ongoing Route Modification Study. With the final Corridor Management Committee direction anticipated in Quarter 1 of 2023, the design advancement of the remaining corridor will occur afterwards and will be submitted in a separate 30% Volume B submittal. The 30% plans for the area north of Beam Avenue are anticipated to be submitted at the same time as the 60% plans for the corridor south of Beam Avenue, currently expected to be in Quarter 2 of 2023. Consultation will occur with consulting parties between the 30% and 60% plan development north of Beam Avenue, once available, as required by the Project MOA.

The Preservations Lead's analysis, outlined in the attached report, is based on the Project's 30% Plans (Volume A) dated September 23, 2022.

### **30% Plan Review**

The Preservation Lead has reviewed the Project's 30% plans and recommend the following.

- Most project changes between the 15% and 30% plans were within the same LODs at the 15% stage. There were several locations that extended beyond the LOD at the 15% plan stage; however, based on the project methodology as detailed in the 2020 archaeology report, all appear to have low potential for containing intact, significant archaeological sites due to previous residential, commercial, and/or railroad and roadway development. Therefore, no additional archaeological fieldwork is recommended.

- No change to the Project APE is recommended since all the changes and their potential to affect the character or use of historic properties, if any are present, are sufficiently accounted for in the previous APE boundaries.
- As per Stipulation VI.C, it is recommended that the proposed Johnson Parkway Bridge meets the SOI Standards and that commitment is completed, pending the receipt of consulting parties' comments and the consideration of such comments, as per Stipulations VI; and continued review by the Preservation Lead should occur to determine if design changes warrant reinitiating consultation.
- As per Stipulation VII, it is recommended that no Construction Protection Plans for Historic Properties (CPPHPs) are needed and that other means of notifying the contractor of the presence of historic properties can be used pending the receipt of consulting parties' comments and the consideration of such comments.
- While the finding of effect for the project has not changed, an additional project activity was identified that will add to the adverse effect to the LS&M Railroad Corridor Historic District. The planned replacement of the Bridge R0438 (McAfee Bridge) constitutes the loss of original historic fabric from the LS&M Railroad Corridor Historic District. FTA should consult with consulting parties per Stipulation XII on determining if additional mitigation will be required, or if the minimization efforts in other locations, namely the Arlington Bridge crossing, make the current mitigation commitment commensurate with the effects to the historic district overall. As per the terms of Stipulation XII, the new bridge should be designed in accordance with the SOI Standards to the extent possible to minimize additional effects.

### Next Steps

FTA and Mead & Hunt will hold a consultation meeting with your office and the parties copied below in January 2023 (date to be determined). The purpose of this meeting is to review the 30% design review memo and answer any questions from consulting parties prior to your issuing written comments.

**FTA requests that MnSHPO and the consulting parties copied below provide comments on the 30% design review for the proposed Project within 60 calendar days of receipt of this letter, which is January 31, 2022.** If you have any questions, please contact William Wheeler at (312) 353-2639 and William.Wheeler@dot.gov. Thank you.

Sincerely,

Jay M. Ciavarella  
Director, Office of Planning and Program Development

Enclosures: *Technical Memorandum: 30% Plan Review (November 2022)*

cc (via email): William Wheeler, Federal Transit Administration  
Elizabeth Breiseth, Federal Transit Administration  
Nancy Komulainen-Dillenburg, United States Army Corps of Engineers  
Melissa Jenny, United States Army Corps of Engineers

METRO Purple Line Bus Rapid Transit Project, SHPO #2019-0958

30% Plan Review

December 2, 2022

Page 3 of 3

Philip Forst, Federal Highway Administration  
Joe Campbell, Federal Highway Administration  
Lisa Elliott, Purple Line Project Office  
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Melissa Lawrence, City of Gem Lake  
Michael Martin, City of Maplewood  
Maplewood Historical Society  
Joe Sheeran, Maplewood Heritage Preservation Commission  
Stephen Smith, Ramsey County  
Bill Dermody, City of St. Paul  
George Gause, St. Paul Heritage Preservation Commission  
Nolan Wall, City of Vadnais Heights  
Anne Kane, City of White Bear Lake  
Sara Hanson, White Bear Lake Historical Society  
Pat Christopherson, White Bear Lake Township



# Technical Memorandum: 30% Plan Review

As required by the Section 106 Purple (Rush) Line Bus Rapid  
Transit Project Memorandum of Agreement

To: William Wheeler and Jay Ciavarella, Federal Transit Administration Region 5

From: Kristen Zschomler, historian and RPA-Registered archaeologist;  
Christina Slattery, historian; and  
Valerie Reiss, historian;  
Mead & Hunt, Inc. – Preservation Lead

11/29/2022

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## LIST OF ACRONYMS

ADA	Americans with Disabilities Act
APE	Area of Potential Effects
BMP	Best Management Practices
BRT	Bus Rapid Transit
CPPHP	Construction Protection Plan for Historic Properties
Corps	United States Army Corps of Engineers
Council	Metropolitan Council
DART	Design Area and Refinement Team
EA	Environmental Assessment
FHWA	Federal Highway Administration
FTA	Federal Transit Administration
LOD	Limits of Disturbance
LS&M	Lake Superior & Mississippi Railroad
MnDOT	Minnesota Department of Transportation
MnDOT CRU	Minnesota Department of Transportation Cultural Resources Unit
MOA	Memorandum of Agreement
National Register	National Register of Historic Places
PA	Programmatic Agreement
PLPO	Purple Line Project Office
Project	Purple Line Bus Rapid Transit Project
RCRRA	Ramsey County Regional Rail Authority
ROW	Right-of-way
Section 106	Section 106 of the National Historic Preservation Act of 1966, as amended
SHPO	State Historic Preservation Office
SOI Standards	Secretary of the Interior's Standards
StPS&TF	Saint Paul, Stillwater & Taylors Falls Railroad

# 1. INTRODUCTION

This memorandum has been prepared based on the requirements of the Purple Line Bus Rapid Transit (BRT) Project (Project) Memorandum of Agreement (MOA), signed by the Federal Transit Administration (FTA), Minnesota State Historic Preservation Office (SHPO), Federal Highway Administration (FHWA), United States Army Corps of Engineers (Corps), and Metropolitan Council (Council). The MOA codifies the steps by which Section 106 of the National Historic Preservation Act of 1966, as amended (Section 106) review for the Project is to be completed as Project plans are developed by the Purple Line Project Office (PLPO).

The Project's Section 106 finding of effects to historic properties (i.e., those eligible for or listed in the National Register of Historic Places (National Register) as defined at 36 CFR § 800.16(l)(1)) was based on the 15% Project plans, resulting in a finding of Adverse Effect to the Lake Superior & Mississippi (LS&M) Railroad Corridor Historic District: Saint Paul to White Bear Lake (XX-RRD-NPR001), herein referred to as the LS&M Railroad Corridor Historic District; three individually eligible 1868 Alignments of the LS&M (XX-RRD-NPR002, XX-RRD-NPR003, and XX-RRD-NPR004); and the LS&M Railroad Corridor Historic District: White Bear Lake to Hugo (XX-RRD-NPR005). In addition, conditions were placed on several historic properties to avoid or minimize effects to them: Lowertown Historic District (RA-SPC-4580); Saint Paul Union Depot (RA-SPC-5225 and RA-SPC-6907); Great Northern Railroad Corridor Historic District (RA-SPC-5918); Westminster Junction (RA-SPC-5618); Saint Paul, Stillwater & Taylors Falls (StPS&TF)/Omaha Road Railroad Corridor Historic District (XX-RRD-CNW001); Johnson Parkway (RA-SPC-8497 and RA-SPC-5685); Phalen Park (RA-SPC-10850); Moose Lodge 963 (RA-MWC-0134); and Madeline L. Weaver Elementary School (RA-MWC-0031).

This memo includes detailed documentation of required review elements based on the Project's 30% plan status, supported as per the requirements of Stipulation III: Deliverables and Consulting Party Review Procedures. See the Purple Line Quarterly Report No. 4 for Quarter 3 (July 1 – September 30, 2022) for other stipulation updates (distributed to consulting parties on November 28, 2022).

## 2. STIPULATION IV: FTA REVIEW OF PROJECT PLANS - REVIEW OF 30% PLANS

The MOA requires the Project's Preservation Lead to review project plans at the 30%, 60%, 90%, and 100% design stages, as well as any modifications made to the 100% plans (Stipulation VI.C.) in order to:

. . . recommend to FTA whether revisions are necessary to the Project's APE, whether any Project design changes may result in a change to FTA's finding of effect, whether the design requirements of Stipulation V have been met, and whether the plans incorporate commitments made to the Consulting Parties through consultation under Stipulations VI and XII.

Mead & Hunt, Inc. (Mead & Hunt), as Project Preservation Lead, reviewed the Project's 30% plans (attached) and compared them to the limits of disturbance (LOD) on the 15% plans, the archaeological study and survey areas, and the Project Area of Potential Effects (APE) (all previously distributed) to determine if there are changes between the 15% and 30% design that would result in the items listed above. Changes to LODs are described below and images from the archaeological survey limits are compared with the LOD at the 30% plan stage as shown on the Project Layout sheets (attached). For changes from the 15% LOD, the change is described and the 30% plan sheet number is provided in the text for reference and ease of finding, but no comparison image is provided. The results of this review are summarized here and documented below.

- There are minor changes to the proposed work within the 15% LODs and/or minor changes that extend beyond the 15% LOD. Where expanded LOD boundaries were noted, RPA-registered archaeologist Kristen Zschomler compared the area with the previously reviewed and approved archaeological methodology as documented in the 2020 report by Vicki L. Twinde-Javner of the Mississippi Valley Archaeology Center, *Phase IA Literature Review, Phase I Archaeological Investigations and Phase II Archaeological Investigations of 21RA82 for the Rush Line BRT Project, Ramsey County, Minnesota* (2020 archaeology report). Based on an application of the established and previously reviewed methodology in that report, no areas in the expanded LOD are recommended for further archaeological work, as documented below.
- No change to the Project APE is recommended since all the changes and their potential to affect the character or use of historic properties, if any are present, are sufficiently accounted for in the previous APE boundary. This includes the change from an at-grade to a grade-separated crossing at Arlington Avenue, as documented below.
- The commitment for the Johnson Parkway Bridge and project elements proximate to Madeline L. Weaver Elementary School to be designed in accordance with the Secretary of the Interior's Standards (SOI Standards) to the extent feasible as per Stipulation V has been met, pending consulting party comments under Stipulations VI and continued review by the Preservation Lead as plans advance.
- Recommendation that alternative methods to the use of Construction Protection Plans for Historic Properties (CPPHPs) be used.

- While the finding of effect for the project has not changed, an additional project activity was identified that will add to the adverse effect to the LS&M Railroad Corridor Historic District through the removal and replacement of Bridge R0438 (former railroad bridge now pedestrian path connecting McAfee Street to East Shore Drive [RA-SPC-11140]), a contributing element. Other effects to the historic district have been minimized, mainly through the reduction of railroad bed removal at the Arlington Avenue crossing.

## 2.1. Removed Design Elements

- The 30% plans do not extend beyond Beam Avenue as the Project's northern termini is being redesigned. In March 2022, the City of White Bear Lake passed a resolution asking that the project not enter White Bear Lake; therefore, the corridor design north of Beam Avenue to the end of the corridor has been excluded from the 30% Volume A submittal due to the ongoing Route Modification Study. With the final Corridor Management Committee direction anticipated in Quarter 1 of 2023, the design advancement of the remaining corridor will occur afterwards and will be submitted in a separate 30% Volume B submittal. The 30% plans for the area north of Beam Avenue are anticipated to be submitted at the same time as the 60% plans for the corridor south of Beam Avenue, currently expected to be in Quarter 2 of 2023. Consultation will occur with consulting parties between the 30% and 60% plan development north of Beam Avenue, once available, as required by the Project MOA.
- Robert Street – reduction of the turn radius from 6<sup>th</sup> Street to northbound Robert Street.
- Fourteen retaining walls were removed from the project by refining grades of stations, bridges, and trails.
  - RTW-202 – Johnson Parkway Bridge Approach
  - RTW-206 – Maryland Avenue Station
  - RTW-211 – Maryland Avenue Station
  - RTW-236 – Gateway Trail Overpass Approach
  - RTW-237 – Gateway Trail Overpass Approach
  - RTW-240 – Weaver Elementary Area
  - RTW-241 – Changed to bridge wing walls over Weaver Trail
  - RTW-242 – Changed to bridge wing walls over Weaver Trail
  - RTW-243 – Changed to bridge wing walls over Weaver Trail
  - RTW-244 – Changed to bridge wing walls over Weaver Trail
  - RTW-257 – Bridge Over Highway 36

- RTW-280 – Trail south of Beam Avenue
- RTW-282 – Trail south of Beam Avenue
- RTW-284 – Trail south of Beam Avenue

## 2.2. Overall Design Advancements/Changes

Overall advancement of elements included roadway alignments, profiles, grading limits, BMP locations (best management practice water management systems), traffic signal design, maintenance vehicle pull-offs, and right-of-way (ROW). Significant advancement of grading design occurred, including steepening of side slopes where appropriate. None of the proposed changes require a change to the Project APE and no further survey work is recommended.

- Architecture
  - Typical platform plans are included in the 30% plans. Architecture plans for Maplewood Mall Transit Center and station platforms/shelters will be included in the 60% submittal. Fencing is shown in the construction plans. Further proposed landscape/urban design elements will be shown in the 60% plans.
- Civil
  - Civil notes, typical sections, and construction plan and profile sheets are included in the 30% submittal that show proposed guideway, roadway, trail, sidewalk, platforms, and alignment and profile geometry. The 60% plans will include civil details, alignment plans and tabulations, paving and jointing, superelevation, intersection details, grading, and cross sections.
- Drainage
  - Stormwater BMP locations are shown in the 30% construction plans. Drainage plans showing proposed storm structures and pipes will be included in the 60% plans.
- Lighting
  - Proposed light pole locations are shown in the 30% construction plans. Lighting plans will be included in the 60% submittal.
- Signing and striping
  - Signing and striping is not included in the 30% submittal. The construction plans include traffic directional arrows, and the traffic signal plans show proposed striping at signalized intersections. Signing and striping plans will be included in the 60% submittal.
- Soil erosion and sediment control
  - Soil erosion and sediment control plans will be part of the 90% submittal.

- Structural
  - Bridge plans are included at the end of the 30% plan set for reference. Preliminary bridge plans were submitted separately to MnDOT for review. A retaining walls table is included in the 30% plans and retaining wall locations are shown in the construction plans.
- Systems
  - Fiber network overview, block diagrams, and select details have been included in the 30% plans. More detailed systems plans that include further systemwide details, station communications details, and proposed conduits will be included in the 60% submittal.
- Traffic signals
  - Traffic signal plans are included in the 30% submittal that show proposed signal system layouts. Further detail will be included in the 60% plans.
- Utilities
  - The 30% plans include existing utility plans. Proposed utilities will be shown in the 60% plans.

## 2.3. Station and Area-specific Design Changes

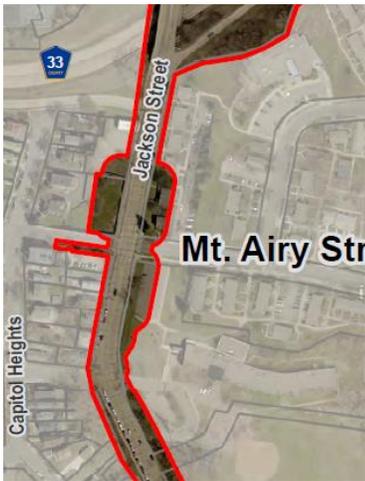
### 2.3.1. 14th Street Station

The 30% plans include sidewalk improvements of 6-8 feet wider than shown in the 15% plans. The 30% plans show a walk-behind platform, curb and sidewalk replacement for the entire block, removal of parking spaces in adjacent lot, and new sidewalks (Plan Sheet 79). The wider LOD was included in the archaeology study area; therefore, no additional archaeological work is recommended.

### 2.3.2. Mt. Airy Street Station

A raised median was incorporated between platforms to prevent vehicles from passing buses stopped at BRT platforms. This treatment is like the proposed treatment on B Line and the decision was made through the Design Area and Refinement Team (DART). Bicycle lanes and the retaining pond seen in the 15% plans have been removed. The limits of existing roadway reconstruction were extended to the north (Plan Sheet 82). There is a small area not previously included in the archaeological study area boundaries for new sidewalks (see red circle on layout sheet below); however, the area is located within areas of previous disturbance from roadway and residential development. According to the 2020 archaeology report, the area at the proposed Mt. Airy Street Station “will generally use existing roadway and work is expected to be within the road ROW; station area heavily disturbed, ROW heavily disturbed; no survey recommended (page 76).” Therefore, the expanded LOD are unlikely to contain intact, significant archaeological deposits and no additional fieldwork is recommended.

Archaeology study area map, page 2



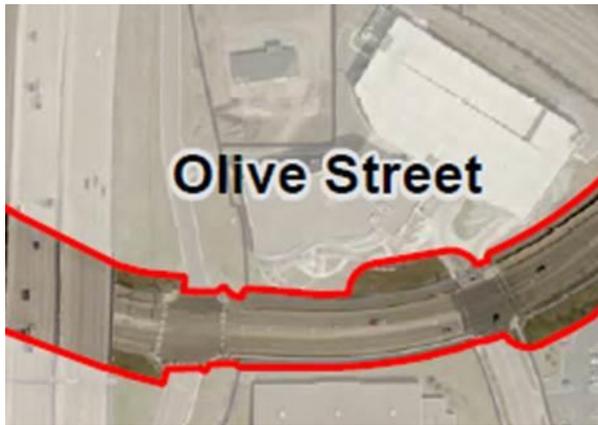
Project Layout Sheet 6



### 2.3.3. Olive Street Station

The southbound station platform was shifted approximately 30 feet further south. The City of Saint Paul requested the platform be shifted to allow for the trail crossing of Health Partners Drive to mimic what exists today. In addition, wider pedestrian ramps were included, construction limits on the south side of Phalen Boulevard were extended to the back of the parking lot curb, and a maintenance vehicle pull-off pad was added (Plan Sheets 86-87). There is a very small area not previously included in the archaeological study area boundaries (see red circle on layout sheet below). The 2020 archaeology report stated that along Phalen Boulevard the Project “will generally use existing roadway to Arcade, then RCRRR ROW to Johnson Parkway; station area heavily disturbed, ROW heavily disturbed; no survey recommended (page 77).” The small additional area within the 30% LOD is located within areas of previous disturbance from roadway and residential development. It is unlikely to contain intact, significant archaeological deposits and no additional archaeological fieldwork is recommended.

Archaeology study area map, page 3



Project Layout Sheet 8



### 2.3.4. Cayuga Street Station

The northbound station was changed from a far side condition to a near side condition. The City of Saint Paul requested this change to eliminate a long second crosswalk on the east side of Cayuga Street and Phalen Boulevard. The City was concerned the signal timing required for pedestrians would significantly impact the existing traffic volumes. The decision was made through the DART. The southbound station shifted farther away from the intersection to allow crosswalks to work as they do today. In addition, retaining wall limits were refined and a maintenance vehicle pull-off was added (Plan Sheets 89-90). There is a small area not previously included in the archaeological study area boundaries (see red circle on layout sheet below). According to the 2020 archaeology report “station areas heavily disturbed; area along Payne Avenue heavily disturbed. Visual reconnaissance indicates locations of nine former railroad buildings at Cayuga Street; East St. Paul Station; E. St. Paul Roundhouse; and CStPM&O Roundhouse have been heavily disturbed by construction of Payne Avenue, modern buildings and installation of utilities. Low potential for intact deposits. No reconsideration per the Supplement to the [National Register Multiple Property Documentation Form] for Railroads in Minnesota, 1861-1956 (draft) warranted (Page 77).” The small additional area within the 30% LOD is located within areas of previous disturbance from roadway and residential development. It is unlikely to contain intact, significant archaeological deposits and no additional archaeological fieldwork is recommended.

Archaeology study area map, page 3



Project Layout Sheet 10



### 2.3.5. Payne Avenue Station

The extents of trail reconstruction were extended to Edgerton for complete street reconstruction (Sheet 93). The left-turn lane for westbound Phalen Boulevard to southbound Payne Avenue was shortened to eliminate work on the existing bridge (Plan Sheet 94). In addition, the limits of full reconstruction versus mill and overlay were refined, bump outs and a maintenance vehicle pull-off pad were added, and BMP locations removed (Plan Sheets 93-94). All changes are within the previous LOD and archaeological survey area; therefore, no further archaeological work is recommended.

### 2.3.6. Arcade Street Station

Three locations are now under consideration by the DART for the Arcade Street Station (see Figure 1 through Figure 5). Alternative location options were requested to mitigate concern of pedestrians/cyclists using the dedicated guideway ramp to access the Bruce Vento Trail from Arcade Street, and concern about winter maintenance of the grade of the ramp connection. Option A is the same proposed station location in the 15% Plans and includes minor realignment of the Phalen Boulevard ramp and pedestrian connections to the Bruce Vento Trail (Figure 3). Option B is in the open area north of Phalen Boulevard, west of Arcade Street, and east and south of Neid Lane (Figure 4). Option C is at Wells Street on the north side of Phalen Boulevard (Figure 5).

All three options are located within the Project APE; therefore, no further architecture/history survey work is needed. The Options B and C are slightly outside of the LOD on the 15% plans. The 2020 archaeology report stated that along Phalen Boulevard, the Project “will generally use existing roadway to Arcade, then RCRRA ROW to Johnson Parkway; station area heavily disturbed, ROW heavily disturbed; no survey recommended (page 77).” The small additional area within the 30% LOD is located within areas of previous disturbance from roadway, railroad, and commercial development. The small areas are unlikely to contain intact, significant archaeological deposits and no additional archaeological fieldwork is recommended.

See Stipulation XI: Additional Assessment of Effect for the StPS&TF/Omaha Road Railroad Corridor Historic District for the recommended assessment of effects of the proposed station location options.

Further advancement of this station will occur in the 60% design phase. To receive consulting party comments on the new possible locations as per the MOA, which requires design considerations in relation to the StPS&TF/Omaha Road Railroad Historic District, the three proposed alternatives are included in this submittal and will be discussed at the consulting parties meeting to inform the 60% details (see Figure 1 through Figure 5).

**FIGURE 1. BOUNDARY OF STPS&TF/OMAHA ROAD RAILROAD CORRIDOR HISTORIC DISTRICT IN BLUE NEAR THE ARCADE STREET RAMP.**



FIGURE 2. ARCADE STREET STATION ALTERNATIVE OPTIONS.

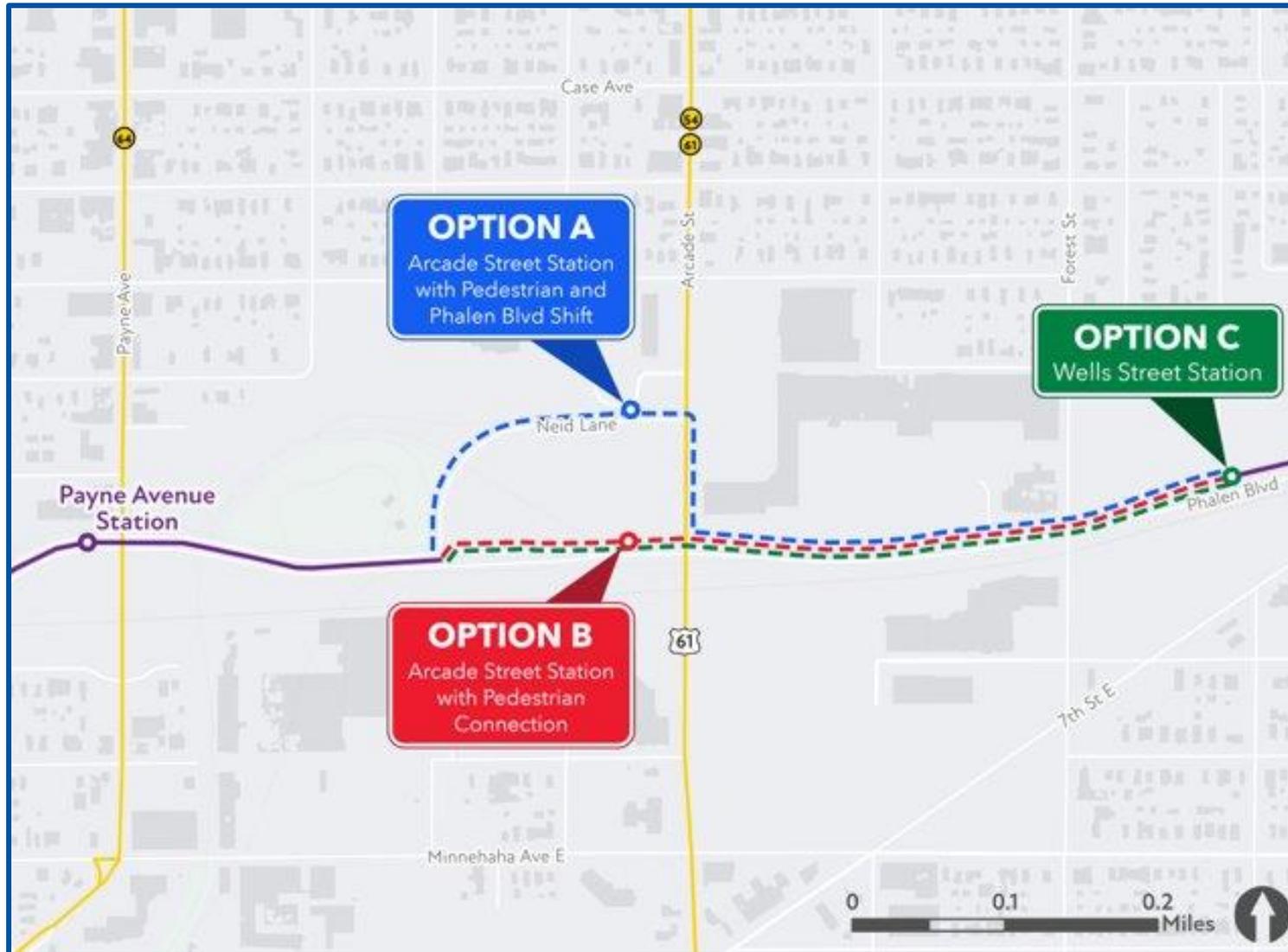


FIGURE 3. ARCADE STREET STATION ALTERNATIVE OPTION A.

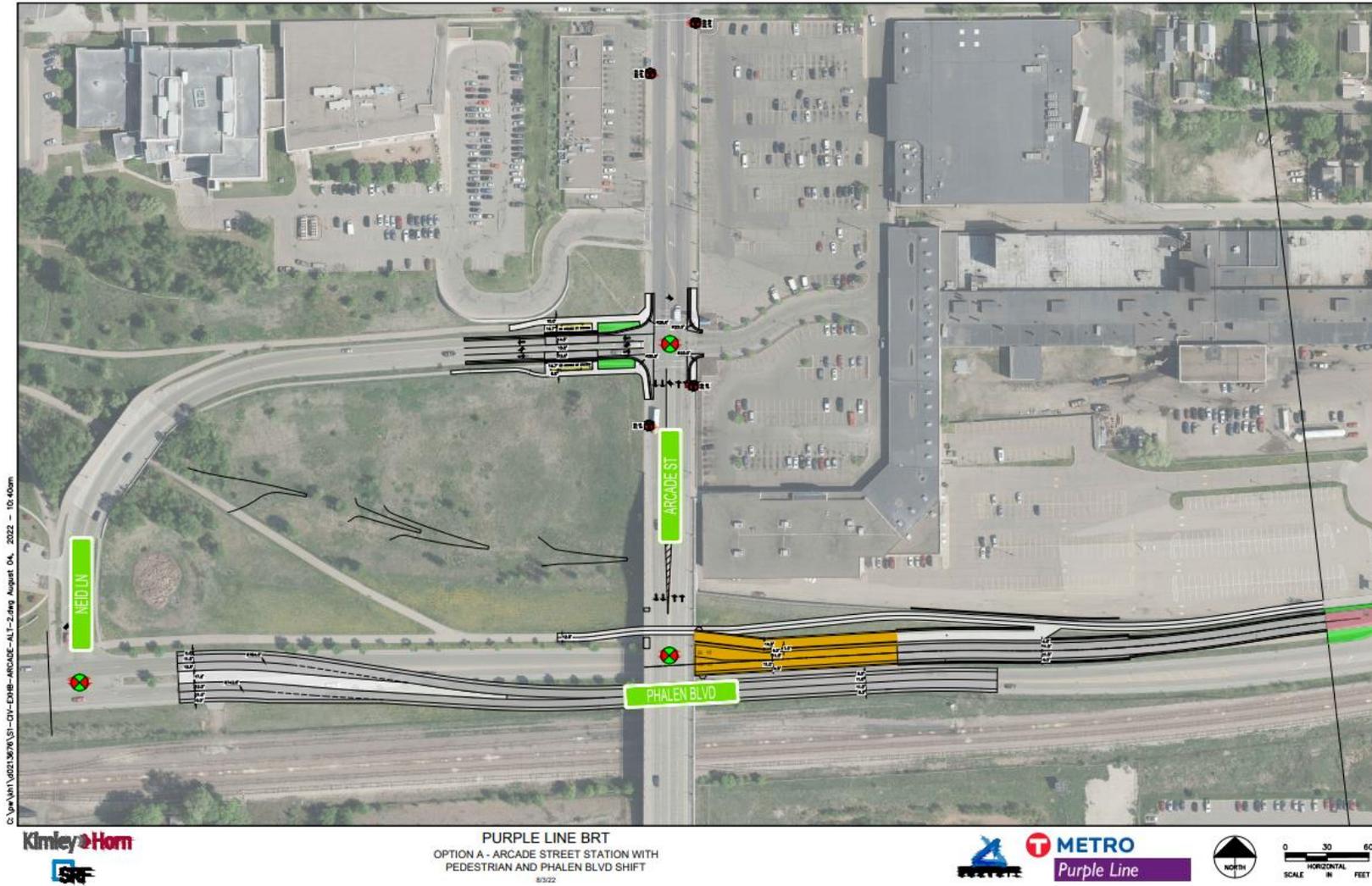
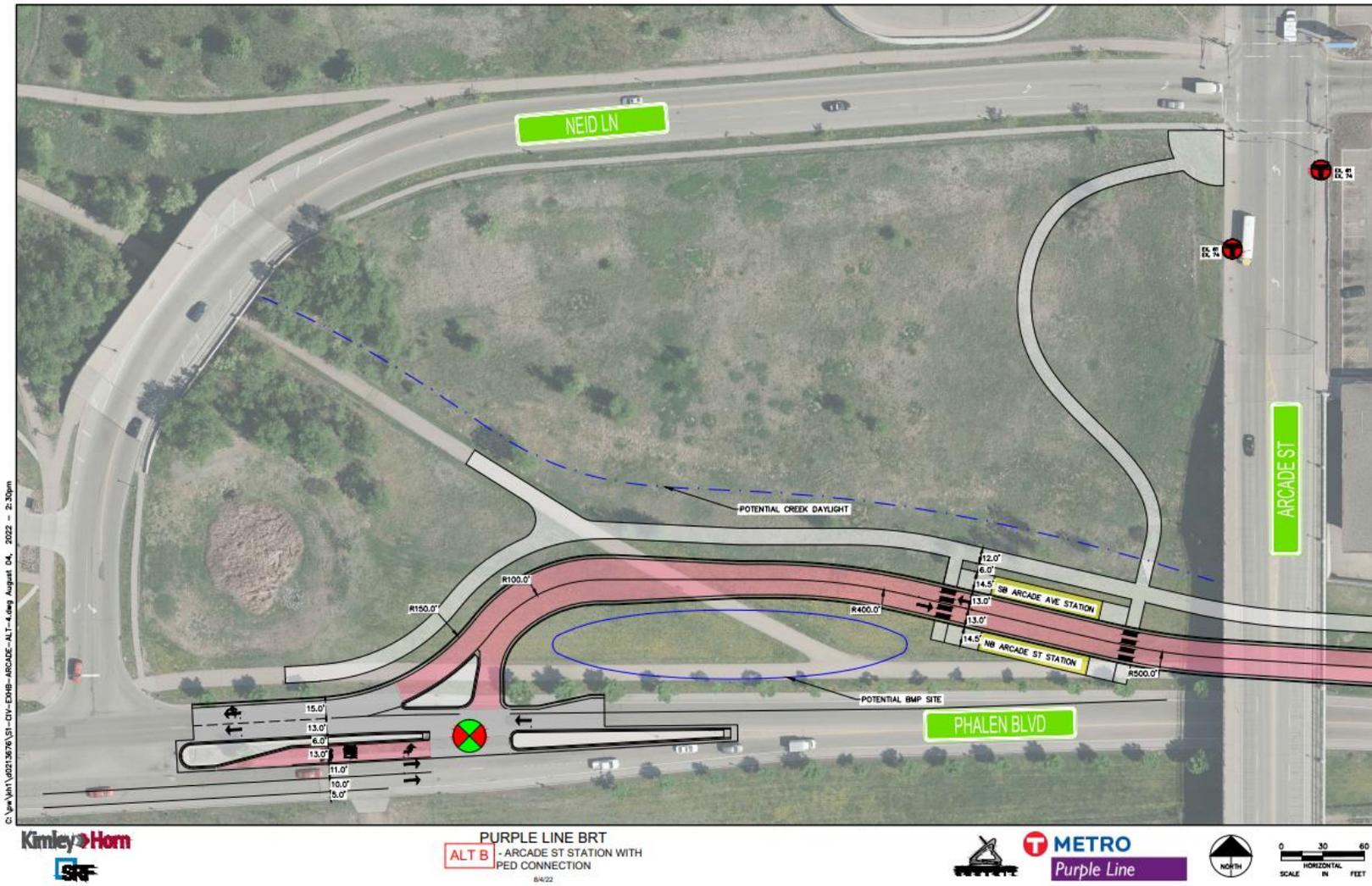


FIGURE 4. ARCADE STREET STATION ALTERNATIVE OPTION B.





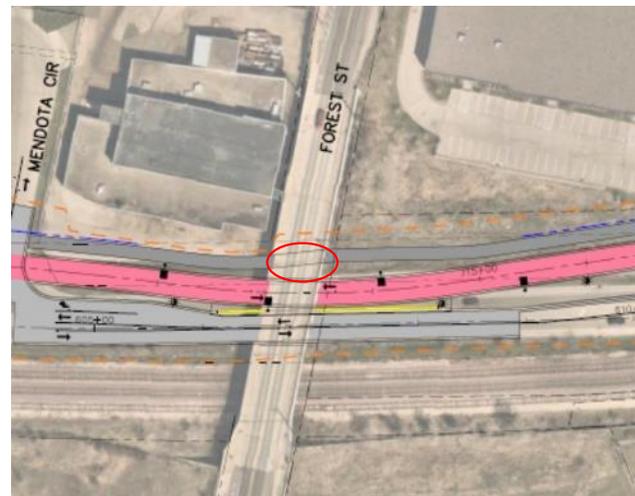
### 2.3.7. Between the Arcade and Cook Avenue Stations

The trail route was bumped out in two locations for BMP and a pedestrian crossing was added, though these bump outs are within the previous LOD and archaeology study area (Plan Sheets 99-101). The 30% LOD at Forest Street were slightly extended to the west (see red circle on layout sheet below). The 2020 archaeology report stated that along Phalen Boulevard, the Project “will generally use existing roadway to Arcade, then RCRRRA ROW to Johnson Parkway; station area heavily disturbed, ROW heavily disturbed; no survey recommended (page 77).” The small additional area within the 30% LOD is located within areas of previous disturbance from roadway and residential development. It is unlikely to contain intact, significant archaeological deposits and no additional archaeological fieldwork is recommended.

Archaeology study area map, page 5



Project Layout Sheet 14



### 2.3.8. Cook Avenue Station

A retaining wall was added between the parking lot and trail due to grading constraints and to protect the parking lot. The station platforms were staggered, and the roadway section was revised to allow for enough space to incorporate access ramps between the stations and for pedestrians to have a single lane crossing. Pedestrian connection to Hmong Village was revised to be Americans with Disabilities Act (ADA) compliant and a maintenance pad pull-off added (Plan Sheet 107). The southern pedestrian connection to Magnolia was redesigned to save space and be more functional (Plan Sheet 109). Trail connection to the north was modified. However, all changes are within the previous LOD and archaeology pedestrian survey area; therefore, no further archaeological work is recommended.

### 2.3.9. Between the Cook Avenue Station and Johnson Parkway Bridge

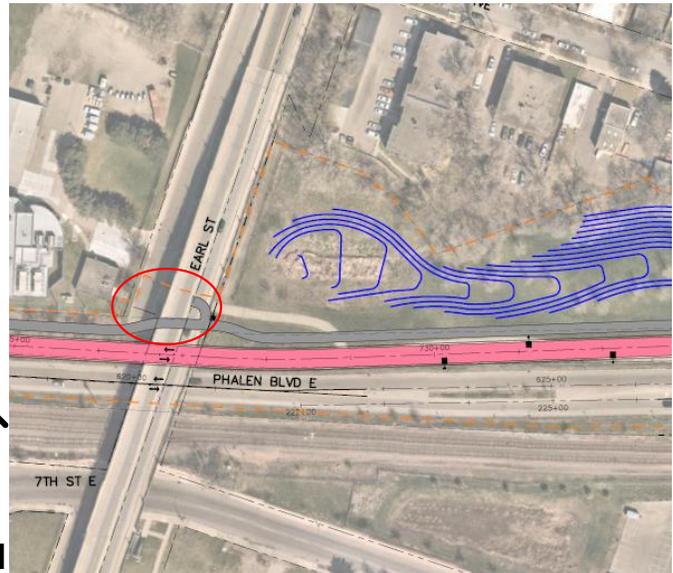
The 30% LOD at Earl Street were slightly extended to the west (see red circle on layout sheet below). The 2020 archaeology report stated that along Phalen Boulevard, the Project “will generally use existing

roadway to Arcade, then RCRRRA ROW to Johnson Parkway; station area heavily disturbed, ROW heavily disturbed; no survey recommended (page 77).” The small additional area within the 30% LOD is located within areas of previous disturbance from roadway and residential development. It is unlikely to contain intact, significant archaeological deposits and no additional archaeological fieldwork is recommended.

Archaeology study area map, page 5



Project Layout Sheet 15



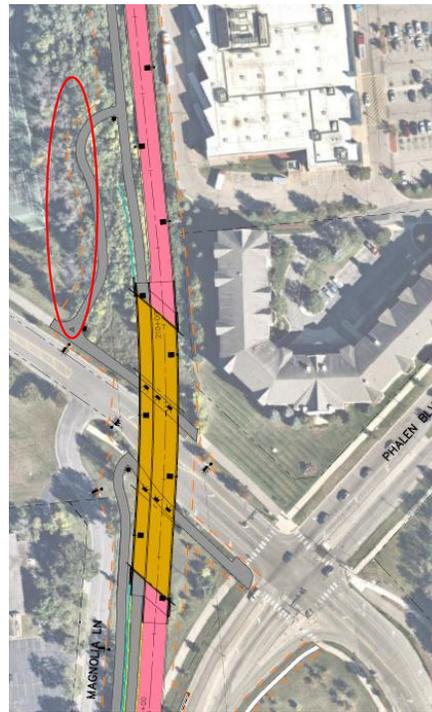
### 2.3.10. Johnson Parkway Bridge

The Johnson Parkway Bridge profile was altered to meet 40 mph design speed and maintain critical clearance. A new trail connection on the north side of Johnson Parkway is slightly outside the 15% LODs and an existing retaining wall will be removed (see red circle below on Layout Sheet 18; Plan Sheet 110). According to the 2020 Archaeology Report “rail connection to Phalen Park on St. Paul Park property – this area was originally part of Lake Phalen; fill deposited to fill in lake; no potential for prehistoric surficial deposits. No survey recommended.” It is unlikely to contain intact, significant archaeological deposits; therefore, no additional archaeological fieldwork is recommended. See Stipulation V.A.ii: Trail Design in Phalen Park discussion below on the trail design. A design concept for the bridge has been develop, as discussed under Stipulation VI.A.iii: Johnson Parkway Bridge Area below for recommendation on if the proposed design meets the SOI Standards.

Archaeology study area map, page 6



Project Layout Sheet 18



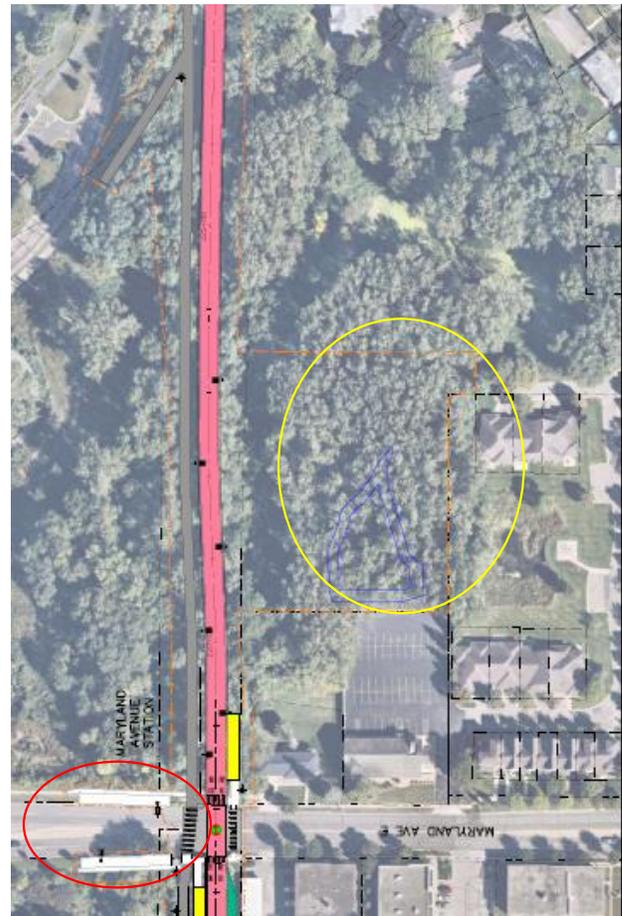
### 2.3.11. Maryland Avenue Station

The Maryland Avenue Station platforms were moved back from the intersection to allow for improved grading and ADA design. The bus pads on Maryland Avenue have been lengthened for local bus queueing. A maintenance pad pull-off was added (Plan Sheet 110). There is a small area not previously included in the archaeological study area boundaries for the extended bus pads (see red circle on layout sheet below). The bus extension areas are located within previously disturbed roadways and the area is unlikely to contain intact, significant archaeological deposits. The area within the yellow circle is located outside the 15% LOD. Based on the 2020 archaeological report and historic aerial (1940), the area “was originally part of Lake Phalen; fill deposited to fill in lake; no potential for prehistoric surficial deposits. No survey recommended (Page 77).” It is unlikely to contain intact, significant archaeological deposits; therefore, no additional archaeological fieldwork is recommended.

Archaeology study area map, page 6



Project Layout Sheet 19



### 2.3.12. McAfee Bridge (Bridge R0438)

The McAfee Bridge was proposed to be rehabilitated at the 15% plan stage but is now proposed to be replaced. As a non-reinforced-concrete bridge for which no plan sets exist, it is problematic for engineers to determine the bridge’s load-carrying capacity for the Purple Line BRT, which would run on top of it. As such, there is no demonstrable way to repair the bridge with sufficient documentation that it meets load requirements. In addition, the revised typical section includes a wall between guideway and trail (Plan Sheets 111-112). All changes are within the previous LOD and archaeology study area; therefore, no further archaeological fieldwork is recommended. The decision was made through the DART. See the Stipulation XI: Additional Assessment of Effects discussion below for review of this change for additional adverse effects to the LS&M Railroad Corridor Historic District.

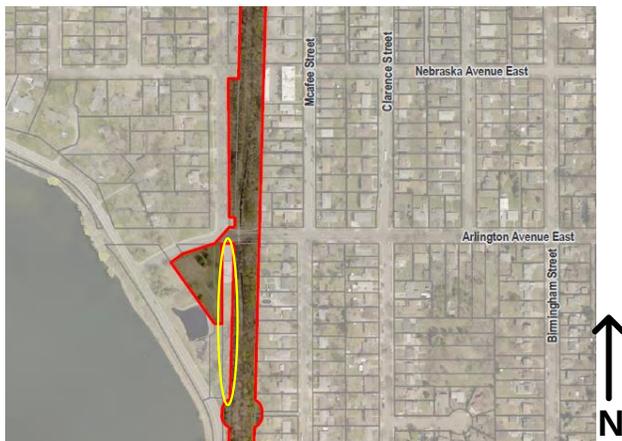
### 2.3.13. Arlington Avenue Area

A BRT bridge over Arlington Avenue was added to separate guideway conflicts from the local system and improve travel times. In the 15% plans, the crossing is shown as at-grade; however, due to traffic and safety modeling, the Project now proposes a bridge approximately 33 feet wide that is 20 feet high to meet 14-foot, 6-inch clearance and 5-foot structure depth. Fill will be added and retaining walls will be needed, likely concrete walls or MSE (Mechanically Stabilized Earth) walls. The change to a bridge crossing also resulted in the rerouting of the trail (Plan Sheet 114-115). The design details for both the bridge and the trail will be included in the 60% plans and will be discussed at the consulting parties meeting to inform the 60% details.

While the bridge introduces a new visual element, the Project APE in this area is large enough to not require adjustment. There are no additional architecture/history properties in the area for which to assess effects from the proposed bridge. For the LS&M Railroad Corridor Historic District, the proposed change will reestablish a bridge where historically one was located and a bridge requires less of the LS&M Railroad Corridor Historic District railbed to be removed compared to the at-grade options, which would need to be cut back extensively to taper it to grade. This change helps to minimize effects to the district overall, though not enough to remove the overall adverse effect finding.

The LOD were expanded slightly from the 15% plans, namely closing the gap between the southern bump-out and the triangle as shown below in the yellow circles. Since the entirety of the LS&M Railroad Corridor Historic District was pedestrian surveyed and the circle area was immediately adjacent, any notable features associated with the railroad line would have been identified. Further, the area was originally part of Lake Phalen, which has been filled to create the shoreline, the railroad, and parkway. Finally, this area does not coincide with the original 1868 alignment of the LS&M Railroad Corridor Historic District, which was the focus of the previous archaeological investigations. The area is unlikely to contain intact, significant archaeological deposits; therefore, no additional archaeological fieldwork is recommended.

Archaeology study area map page 7



Project Layout Sheets 20-21



### 2.3.14. Pedestrian Connection to Nebraska Avenue

A potential pedestrian connection to Nebraska Avenue was removed from the design due to grading constraints from the new bridge (Plan Sheet 115). All changes are within the previous LOD and archaeology study area; therefore, no further archaeological work is recommended.

### 2.3.15. Larpenteur and Frost Avenue Stations

A maintenance vehicle pull-off area was added to both stations (Plan Sheet 118 and Sheet 122, respectively). All changes are within the previous LOD and archaeology study area; therefore, no further archaeological work is recommended.

### 2.3.16. Gateway Overpass

The BRT alignment over the Gateway Trail was straightened, causing the abutments to become skewed and retaining walls lengthened. This was done to allow for better sight lines and bike routing, as well as a clearer BRT travel path (Plan Sheet 123). All changes are within the previous LOD and archaeology study area; therefore, no further archaeological work is recommended.

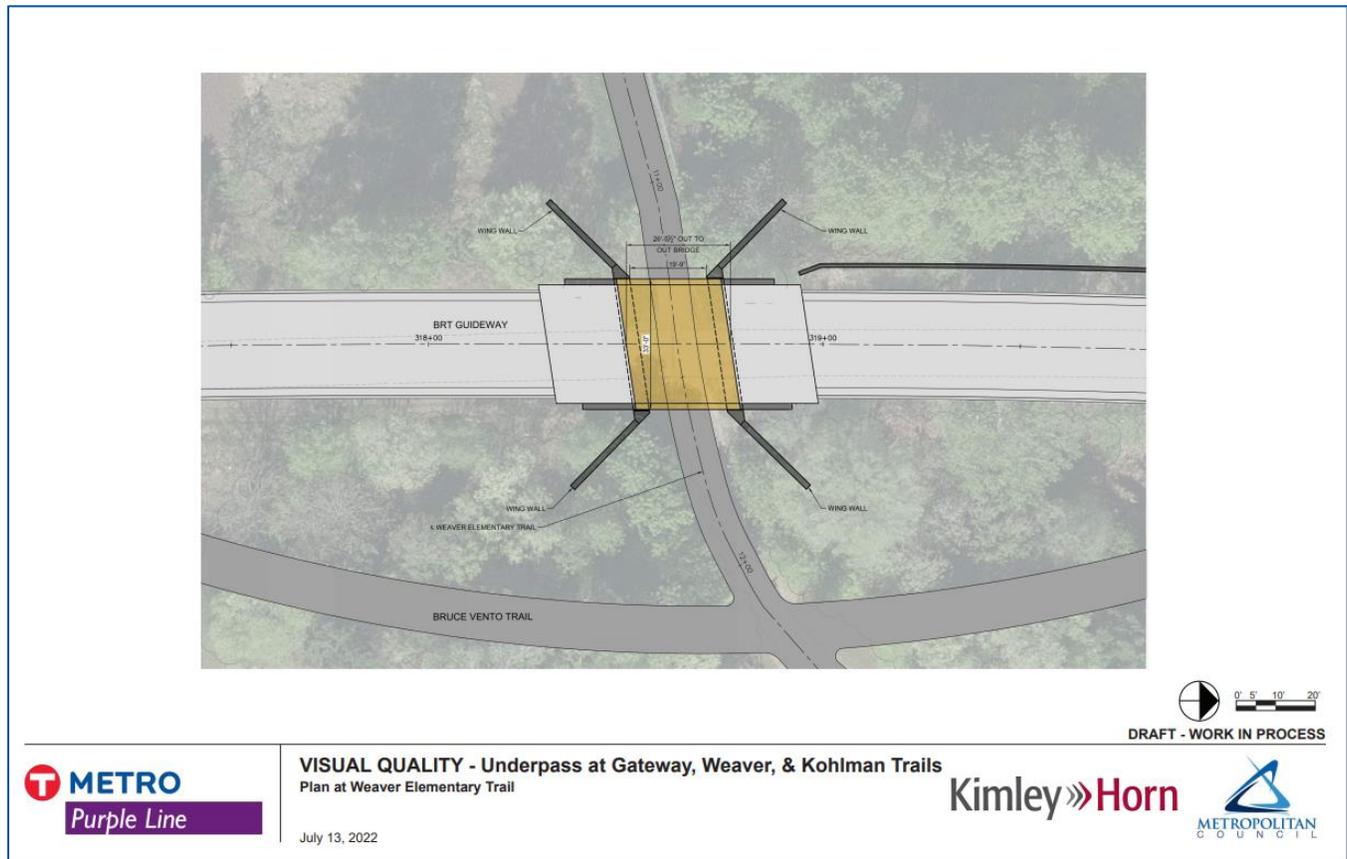
### 2.3.17. Trail Adjustment near Weaver Elementary School

Space has been added between the proposed trail and guideway (Plan Sheet 124) to attempt to avoid the 1868 LS&M railroad alignment (berms), which are individually eligible. Project Designers and the Preservation Lead are still working to determine if the Project can fully avoid the remnant berms, and the status of that decision will be discussed at the consulting party meeting between the 30% and 60% plans.

In addition, a bridge type has been selected (see Figure 6 and Plan Sheet B7 of B10) for the pedestrian underpass at Weaver Trail. The concrete beam bridge will have wingwalls instead of abutments, which minimizes physical elements in the space and allows for more vegetation, helping to avoid visual intrusion in the school’s viewshed.

All changes are within the previous LOD and archaeology study area; therefore, no further archaeological fieldwork is recommended. See Stipulation VI.A.iv: Weaver Trail Underpass Area for discussion on if the proposed work meets the SOI Standards.

**FIGURE 6. PROPOSED DESIGN FOR THE WEAVER TRAIL UNDERPASS.**



### 2.3.18. Highway 36 Station

The park-and-ride at the Highway 36 station was changed from a parking structure as shown in the 15% plans to a surface parking lot. The 30% plans show updated path connection to existing paths, and the BRT crossing was raised to reduce earthwork. This rippled into rebuilding a portion of Gervais Avenue due to revised grades. The Project proposes to no longer incorporate bus pads on Gervais Avenue and to the reconfigured area to allow for ADA access. A maintenance pad pull-off was also added (Plan Sheet 130 and Sheet 140). All changes are within the previous LOD and archaeology study area; therefore, no further archaeological fieldwork is recommended.

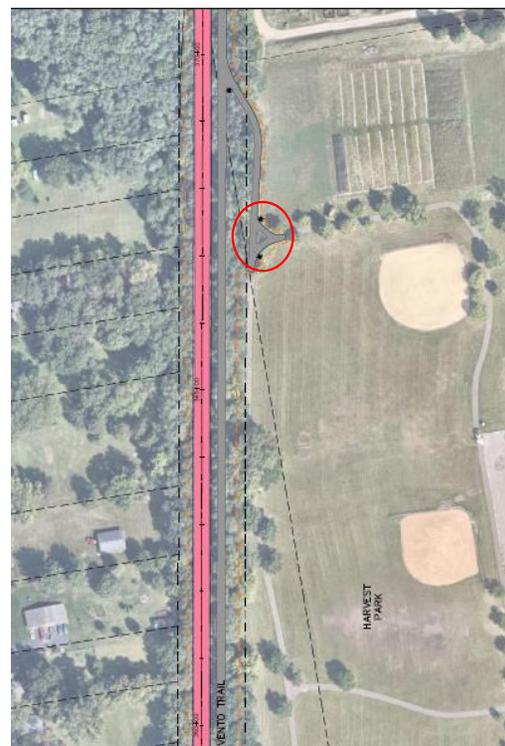
### 2.3.19. Harvest Park Area

The pedestrian trails near Harvest Park were realigned and regraded to minimize disturbance to the historic rail bed. The northern pedestrian connection was moved farther north to avoid historic rail bed and connected better with existing paths in Harvest Park (Plan Sheets 131-133). The decision was made through the DART. A small extension of the trail connection extends beyond the archaeological study area (see red circle below). The area has been heavily disturbed by previous railroad and park construction development; therefore, no further archaeological fieldwork is recommended.

Archaeology study area map, page 10



Project Layout Sheet 28



### **2.3.20. Between County Road C and Beam Avenue**

A cul-de-sac proposed for replacement has been removed from the plans and retaining walls and trail reconstruction eliminated due to BRT alignment shift and design advancement (Plan Sheet 135). All changes are within the previous LOD and archaeology study area; therefore, no further archaeological fieldwork is recommended.

### 3. STIPULATION V: DESIGN REQUIREMENTS

The MOA requires, under Stipulation V: Design Requirements, the following:

- A. In order to minimize and/or avoid adverse effects to the Lowertown Historic District, Saint Paul Union Depot, Great Northern Railroad Corridor Historic District, Westminster Junction, StPS&TF/Omaha Road Railroad Corridor Historic District, Johnson Parkway, Phalen Park, Moose Lodge 963, and Madeline L. Weaver Elementary School, the Metropolitan Council, with the assistance of the Metropolitan Council's Preservation Lead and input from Consulting Parties, as necessary, shall follow these design requirements to the extent feasible while still meeting the Project's purpose and needs:

#### 3.1. Stipulation V.A.ii: Trail Design in Phalen Park and Johnson Parkway

Based on the 30% plans, the proposed design of the trail connection to the noncontributing Bruce Vento Regional Trail in Phalen Park blends visually and materially in Phalen Park through mimicking the profile and appearance of the existing bituminous trail (Plan Sheet 189). Therefore, this design requirement is met. The Preservation Lead will continue to monitor the trail design in Phalen Park throughout plan development and will notify FTA if there is a modification that changes this recommendation.

#### 3.2. Other Stipulation V.A. Design Reviews

The design requirements for Stipulation V.A.i: Lowertown Historic District and Union Depot, V.A.iii: Moose Lodge 963, and V.A.iv: vegetative screening along the StPS&TF/Omaha Road Railroad Corridor Historic District, Johnson Parkway, and Phalen Park are under development and will be assessed at the 60% design stage, following input from consulting parties between the 30% and 60% plans.

## **4. STIPULATION VI: CONSULTING PARTY REVIEW OF CERTAIN PROJECT ELEMENTS UNDER THE SOI STANDARDS**

### **4.1. Stipulation VI.A.i: Cayuga Street Station Area**

The Purple Line Project's MOA states under Stipulation VI.A.i Consulting Party Review of Certain Project Elements under the SOI Standards:

The Cayuga Street Station, which abuts the StPS&TF/Omaha Road Railroad Corridor Historic District and is located near the Great Northern Railroad Corridor Historic District and Westminster Junction, including but not limited to Business Access and Transit (BAT) lanes, retaining walls, station platforms and amenities, trail connections, sidewalks, station vegetation, and stormwater Best Management Practices (BMPs). The Metropolitan Council should consider the mass, scale, and overall design of the Project elements. Vegetative screening shall be preserved or reestablished between the Project elements and the historic property where possible. Consulting Parties shall review Project elements within an area that extends approximately 800 feet southwest and approximately 200 feet northeast of the centerline of Cayuga Street.

In the 30% plans, there are two stormwater BMPs and a retaining wall within the review area around the Cayuga Street Station (Plan Sheets 89 and 90). The retaining wall is a soldier pile cantilever wall type with metal railing on top. The design of the Cayuga Street Station Area is under development and will be assessed at the 60% design stage, following input from consulting parties between the 30% and 60% plans.

### **4.2. Stipulation VI.A.ii: Barriers at Forest Street Bridge**

The Purple Line Project's MOA states under Stipulation VI.A.ii Consulting Party Review of Certain Project Elements under the SOI Standards:

Barriers at Forest Street Bridge: Physical barriers, if used, under or near the Forest Street Bridge (Bridge No. 5962), a contributing resource to the StPS&TF/Omaha Road Railroad Corridor Historic District. Consulting Parties shall review Project elements within an area that extends approximately 200 feet on either side of the point at which the dedicated guideway crosses the centerline of Forest Street North.

A concrete barrier is included in the 30% plans within 200 feet on either side of Forest Street Bridge (Plan Sheet 100). The design of the barriers under and near the Forest Street Bridge is under development and will be assessed at the 60% design stage, following input from consulting parties between the 30% and 60% plans.

### **4.3. Stipulation VI.A.iii: Johnson Parkway Bridge Area**

The Purple Line Project's MOA states under Stipulation VI.A.iii Consulting Party Review of Certain Project Elements under the SOI Standards:

In order to minimize and/or avoid adverse effects to . . . Johnson Parkway [and] Phalen Park. . . , the Metropolitan Council shall, with the assistance of the Metropolitan Council's Preservation Lead and input from Consulting Parties, design the below-referenced Project elements in accordance with SOI Standards to the extent feasible while still meeting the Project's purpose and need. If a City has officially designated the affected historic property for heritage preservation, the design shall also take into consideration, as feasible, any applicable design guidelines adopted by the City's HPC for the historic property.

Johnson Parkway Bridge Area: The Johnson Parkway Bridge, which passes over Johnson Parkway and is located near Phalen Park, and associated Project elements, including but not limited to retaining walls, trail connections, sidewalks, and BMPs. The Metropolitan Council should consider the mass, scale, and overall design of the bridge span, piers, railings, and abutments, and incorporate plantings in keeping with the park-like setting of the historic parkway and Saint Paul's Grand Round. Consulting Parties shall review Project elements within an area that extends approximately 700 feet south and approximately 500 feet north of the point at which the bridge crosses the centerline of Johnson Parkway.

If appropriately designed, the Johnson Parkway Bridge . . . may have minimal effect on the overall integrity of the [LS&M Railroad Corridor] historic district; however, construction would impact intact historic roadways in these areas and change the vertical alignment of the roadbed. Reviewing all of the proposed bridges for design in accordance with the SOI Standards and developing construction protection measures to avoid unintended damage from construction activities may minimize impacts to historic properties. However, these conditions would be unlikely to avoid adverse effects entirely.

There are three retaining walls and a concrete barrier in the designated review area near Johnson Park Bridge (see Plan Sheets 108-109). The plan view of the proposed Purple Line BRT Bridge over Johnson Parkway is shown in Figure 7. The bridge type and aesthetics is proposed to be similar to the Earl Street Bridge over Phalen Boulevard, which is the precedent design for the proposed Purple Line Bridge over Johnson Parkway (see Figure 7 through Figure 9 and Plan Sheets B1-B5 of B10). The City of Saint Paul has not officially designated Johnson Parkway, Phalen Park, or the LS&M Railroad Corridor Historic District for heritage preservation; therefore, there are no applicable City design guidelines. Below is the evaluation of the proposed Johnson Parkway bridge as per the SOI Standards for the Treatment of Historic Properties: Rehabilitation Standards.<sup>1</sup> Since it is such a large element of the Project and is proximate to three historic properties—Johnson Parkway, Phalen Park, and the LS&M Railroad Corridor Historic District—an assessment of the design against each of the ten standards is discussed below.

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<sup>1</sup> Johnson Parkway (RA-SPC-5685 and RA-SPC-8497) was last evaluated by The 106 Group in 2017 under the inventory number RA-SPC-8497 for the proposed Gateway/Gold Line Bus Rapid Transit (BRT) Project. It was recommended eligible, and the Federal Transit Authority (FTA) determined, and the Minnesota State Historic Preservation Office (SHPO) concurred it was eligible for listing on the National Register. The FTA adopted the determination of eligibility made under the Gold Line BRT project for the purposes of the proposed Rush/Purple Line BRT project, including the period of significance for the historic property of 1914-1945. The SHPO coded Johnson Parkway as a "certified eligible finding" or "CEF", in their inventory database, meaning that it is eligible for listing in the National Register of Historic Places for the purposes of the Gold Line BRT Project but that if it was to be listed, additional evaluation of the property would be needed.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The Project meets Standard 1 since Johnson Parkway and Phalen Park will continue to be used for its historic purpose as a parkway. The BRT corridor was abandoned for railroad use decades ago, so the Project's conversion of the railroad bed into a BRT is appropriate since it helps in maintaining the transportation use of the corridor.

FIGURE 7. PLAN VIEW OF PROPOSED PURPLE LINE BRT BRIDGE OVER JOHNSON PARKWAY.

## Visual Quality Update: Bridge over Johnson Parkway

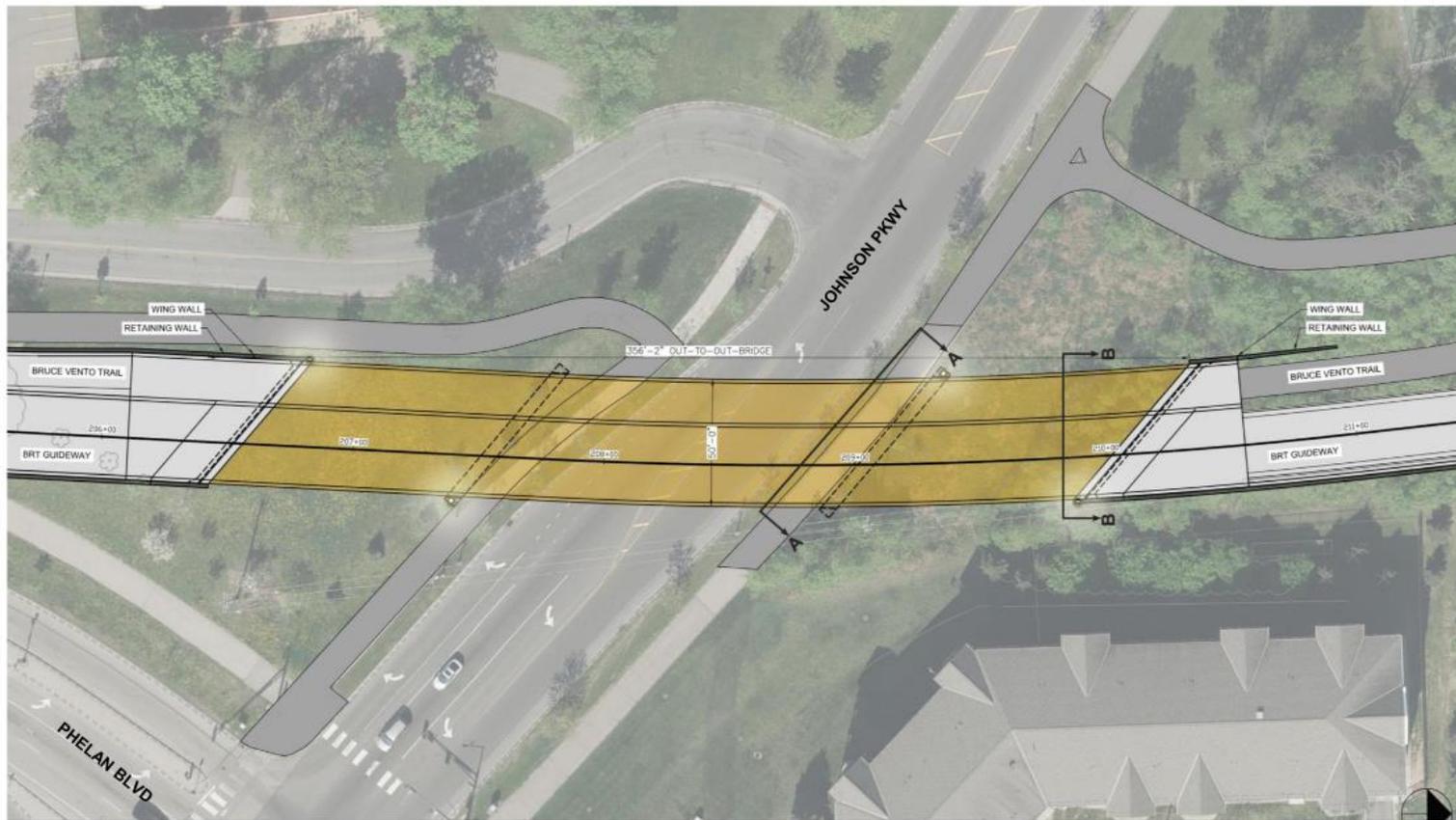


FIGURE 8. EARL STREET BRIDGE OVER PHALEN BOULEVARD, WHICH IS THE PRECEDENT DESIGN FOR THE PROPOSED PURPLE LINE BRIDGE OVER JOHNSON PARKWAY.

## Visual Quality Update: Bridge over Johnson Parkway



Precedent Imagery at Earl Street Bridge

18



FIGURE 9. EARL STREET BRIDGE OVER PHALEN BOULEVARD, WHICH IS THE PRECEDENT DESIGN FOR THE PROPOSED PURPLE LINE BRIDGE OVER JOHNSON PARKWAY.

## Visual Quality Update: Bridge over Johnson Parkway



Precedent Imagery at Earl Street Bridge

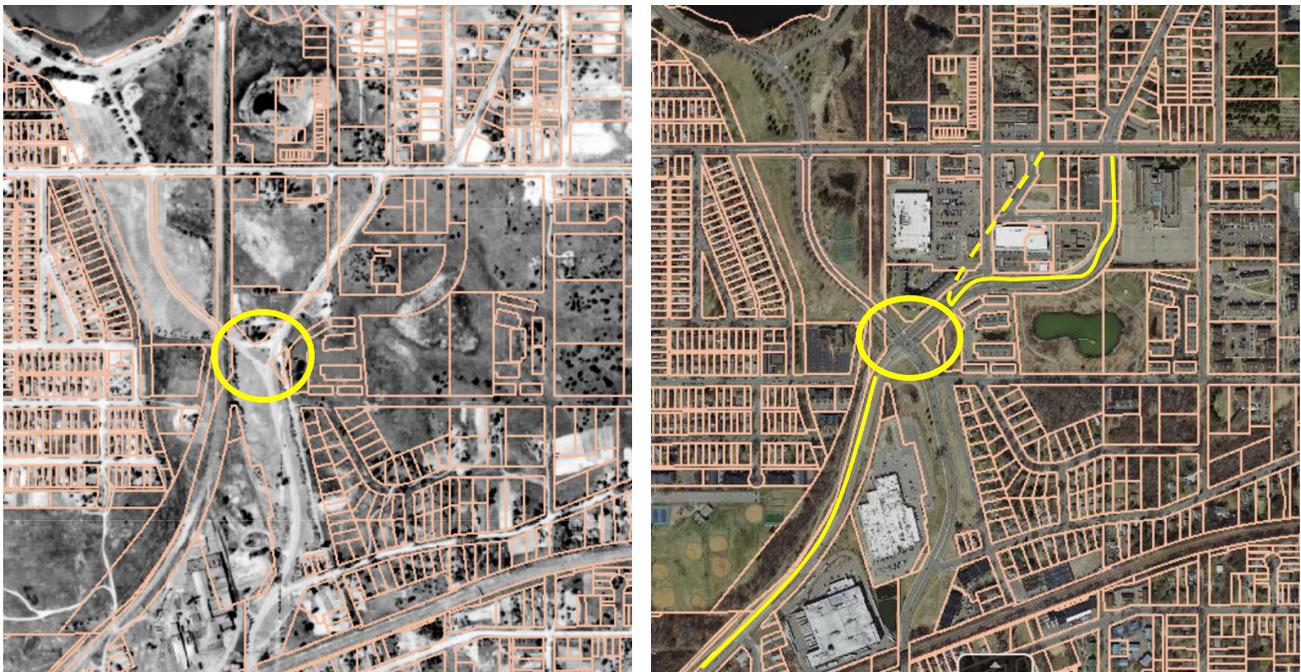
19



2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The Project meets Standard 2 because it will not remove or alter any historic materials, features, or spaces along Johnson Parkway. This area of the parkway was completely reconstructed in the early 2000s as part of a major road project so no historic material, features, or spaces from the period of significance (1914 to 1945) remain (see Figure 10). The Project will restore a crossing and bridge where there was one historically, meaning the character of the space will be maintained for the LS&M Railroad Corridor Historic District (see Figure 11). No physical work will occur within the boundaries of Phalen Park.

**FIGURE 10. 1940 (LEFT) AND 2020 (RIGHT) AERIAL PHOTOGRAPHS OF THE NORTHERN SEGMENT OF JOHNSON PARKWAY. NOTE THE REMOVAL OF THE RAILROAD AND REPLACEMENT WITH PHALEN PARKWAY IN THE SOUTHWEST QUADRANT (SOLID YELLOW LINE), REMOVAL OF THE TRIANGLE INTERCHANGE AND REPLACEMENT WITH A FOUR-WAY INTERSECTION (YELLOW CIRCLES), AND ALTERATION OF THE EASTERN ARM OF THE PARKWAY (YELLOW DASHED LINE SHOWING PREVIOUS ROADWAY VERSUS SOLID YELLOW LINE REPRESENTING THE ROADWAY TODAY).**





3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The Project proposes to restore a crossing where historically one crossed over Johnson Parkway from the LS&M railroad line; however, the Project is not attempting to replace the original bridge as a missing historical feature. Rather, the Project proposes building a new bridge to provide a safe crossing, which constitutes a compatible use and maintains the spatial features of both Johnson Parkway and the LS&M Railroad Corridor Historic District. The bridge will be a new element that does not create a false sense of historical development or alterations to the circulation patterns historically seen in either property. The bridge is following the design precedent extensively used throughout the city of Saint Paul, including nearby over Phalen Boulevard (see Figures 7 and 8). This continuity of design between new bridges throughout the city and specifically over Phalen Boulevard will help distinguish it as new construction. Since the Project does not propose adding conjectural features and there are no other architectural elements in Johnson Parkway or the LS&M Railroad Corridor Historic District to reference, it is unlikely the Project will create a false sense of historical development through the construction of the bridge. The proposed Johnson Parkway Bridge meets Standard 3.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The changes made to the LS&M Railroad Corridor Historic District after the railroad was abandoned in the 1990s and to Johnson Parkway were completed in the early 2000s and those changes have not acquired historic significance in their own right; therefore, they do not need to be retained or preserved. No physical work will occur within the boundaries of Phalen Park. The proposed bridge meets Standard 4.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

As documented above, there is no remaining historic material of the parkway from the period of significance for Johnson Parkway and there is no proposed construction in Phalen Park. While minor effects will occur to the LS&M railroad berm to tie in the new bridge and approaches, this adverse effect has already been accounted for in the original finding of effects. The proposed bridge meets Standard 5.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

As documented above, there is no remaining historic material from the period of significance for Johnson Parkway so there are no features to repair. Further, the Project is not trying to replace the railroad bridge but rather to use the crossing for a new transportation purpose, so the replacement consideration outlined in Standard 6 is not relevant to the Project. No physical work will occur within the boundaries of Phalen Park. The proposed bridge meets Standard 6.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

No chemical or physical treatments are proposed to any historic materials. The proposed bridge meets Standard 7.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

An archaeological survey was conducted previously, and no significant archaeological sites were identified; therefore, Standard 8 is not applicable.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

As documented above, there is no remaining historic material from the period of significance; therefore, the Project will not destroy historic materials that characterize Johnson Parkway. The proposed bridge will be differentiated from the old, since the new bridge is not a railroad bridge and will not look like the original railroad bridge crossing. As discussed under Standard 3, the proposed bridge is following the design precedent extensively used throughout the city of Saint Paul, including over Phalen Boulevard at Earl Street (see Figure 8). This continuity of design between new bridges throughout the city and specifically over Phalen Boulevard will help distinguish it as new construction.

Johnson Parkway is a very large, linear corridor that extends for miles, so the addition of one bridge over a small portion of the roadway is in keeping with the massing, size, and scale for the overall parkway. Further, the new bridge was designed to have no center pier. While the bridge is highly skewed and would typically be constructed with a center pier, the Project designers determined a means to not need one, placing the piers on either side of the road and the abutments at a distance from the road to keep the parkway's roadway free of piers and to minimize the visual intrusion of the structure on Johnson Parkway (see Figures 7-9). To protect the historic integrity of Johnson Parkway and its environment, the Project proposes planting trees to screen the new bridge and to be in keeping with the park-like setting of the parkway. This design element will help to continue the parkway character and helps the new bridge be compatible in the environment. The Johnson Parkway Bridge may be partially visible from the very southern end of Phalen Park; however, the scale and massing of the bridge is such that it will not create any visual effects to the historic property and its environment. The proposed bridge meets Standard 9.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The bridge and guideway could be removed in the future, and the essential form and integrity of Johnson Parkway and Phalen Park and their environment would be unimpaired. The proposed bridge meets Standard 10.

The proposed Johnson Parkway Bridge meets the SOI standards. The design of the retaining walls and concrete barrier near the Johnson Parkway Bridge Area is under development and will be assessed at the 60% design stage, following input from consulting parties between the 30% and 60% plans.

#### **4.4. Stipulation VI.A.iv: Weaver Trail Underpass Area**

The Purple Line Project's MOA states under Stipulation VI.A.iv Consulting Party Review of Certain Project Elements under the SOI Standards:

Project elements near Madeline L. Weaver Elementary School, including but not limited to the Weaver Trail Underpass, trails, vegetation, and stormwater BMPs. The Metropolitan Council should consider the structure's mass, scale, and overall design of the bridge span, piers, railings, and abutments, and its visibility within the historic property's viewshed. Vegetative screening shall be preserved or reestablished between the Project elements and historic properties where possible. Consulting Parties shall review Project elements within an area that extends approximately 400 feet south and approximately 800 feet north of the centerline of the proposed Weaver Trail Underpass.

A concrete beam bridge with wingwalls is proposed to avoid the use of piers and abutments and to maximize the presence of vegetation at the crossing in the side slopes. (see Figure 6 and Plan Sheet B7 of B10). The plan sheet shows concrete wingwalls with limestone pattern. The Preservation Lead is working with the DART to on a simpler design for the concrete wingwalls in which they will be plain concrete with no design or pattern. Based on the 30% plans, there are two proposed retaining walls and a concrete barrier (Plan Sheet 125-126) in the defined review area. There are no stormwater BMPs in the defined review area.

The design of the underpass and retaining walls and concrete barrier near the Weaver Trail Underpass Area is under development and will be assessed at the 60% design stage, following input from consulting parties between the 30% and 60% plans.

#### **4.5. Stipulation VI.A.v: Dedicated Guideway and Fitch/Barclay Trail Underpass**

See Stipulation VIII summary below for information about the Dedicated Guideway and Fitch/Barclay Trail Underpass: Project elements near the 1868 railroad roadway remnants between Kohlman Avenue and Beam Avenue (XX-RRD-NPR002) and/or between Gervais Avenue and County Road C (XX-RRD-NPR003).

## 5. STIPULATION VII: CONSTRUCTION PROTECTION PLAN FOR HISTORIC PROPERTIES (CPPHP)

It is recommended that CPPHPs are not needed. As demonstrated by the Section 106 review for a similar project, the Gold Line BRT from Woodbury to Saint Paul, it was recommended by the Preservation Lead, the Cultural Resources Unit (CRU) in MnDOT, that while the Gold Line Project Programmatic Agreement (PA) required CPPHPs, FTA, SHPO, and other consulting parties determined it was preferable to notify the construction contractor of the location of historic properties and possibly potential means and methods of construction. Ideally, contractors are held responsible for determining the best construction means and methods, and that if notified that there are protected historic properties present, they can be tasked with providing the Preservation Lead a summary of their construction plan proximate to the historic properties of concern. Further, since CPPHPs are not part of a formal bid package, they are not contractually enforceable; therefore, putting notification in the plans and contract of the properties can be more effective.

It is therefore recommended that the following historic properties, which are outside of the Project construction limits, do not require a CPPHP: East Shore Drive, contributing to Phalen Park; the Great Northern Railroad Corridor Historic District; Westminster Junction; and the StPS&TF/Omaha Road Railroad Corridor Historic District. A CPPHP is also not recommended for Madeline L. Weaver Elementary School as limited project activity will occur on the far northern end of the boundary of the property, as detailed above, and most will be on an existing non-historic trail. The active railroad lines or roadways are not likely to experience physical effects from the Projects and most contractors are cognizant to avoid entering active railroad lines or roadways. Nonetheless, it is proposed that, like the Gold Line Project, in lieu of CPPHPs, final plans will document the location of sensitive historic properties and will be identified as “do not disturb areas,” meaning no staging, equipment storage, or any other related project activities can occur in those areas. No plan can ensure that accidents will not happen, and it is recommended that using the recommendations presented herein will meet the intent that the contractor take care of historic properties proximate to or slightly within the Project’s construction limits. This recommendation will be discussed at the consultation meeting to solicit input from the consulting parties and if all parties agree in writing, the MOA does not need to be modified.

Consulting parties should discuss the need for a CPPHP for the 1868 railroad roadway remnants between Kohlman Avenue and Beam Avenue and between Gervais Avenue and County Road C if it is determined through Stipulation VIII.A in the future that it is prudent and feasible for the Project to avoid one or both of the historic properties. If they can be avoided, it is recommended that inclusion of measures in the construction documents and/or the notification to the contractor to provide the means and measures for avoidance be used.

## **6. STIPULATION VIII: MITIGATION FOR ADVERSE EFFECTS TO THE LS&M RAILROAD CORRIDOR HISTORIC DISTRICT**

Avoidance through design of the 1868 railroad roadway remnants between Kohlman Avenue and Beam Avenue and between Gervais Avenue and County Road C is in process and updates to avoid or minimize effects will be identified with the 60% plans.

## **7. STIPULATION IX: CHANGES TO THE AREA OF POTENTIAL EFFECTS (APE)**

Based on 30% design review as documented above under Stipulation IV, no changes are proposed to the Project APE.

## **8. SECTION X: ADDITIONAL SURVEY AND EVALUATION**

Based on 30% design review as document above under Stipulation IV, no additional survey or evaluation is recommended.

## 9. STIPULATION XI: ADDITIONAL ASSESSMENT OF EFFECTS AND STIPULATION XII: CONSULTATION TO RESOLVE ADDITIONAL ADVERSE EFFECTS

### 9.1. StPS&TF/Omaha Road Railroad Corridor Historic District

The three alternative locations for the Arcade Street Station are recommended to have No Adverse Effect to the StPS&TF/Omaha Road Railroad Corridor Historic District. Although construction of the Project would introduce temporary and permanent visual effects within the viewshed of the StPS&TF/Omaha Road Railroad Corridor Historic District, the proposed conditions help to avoid or minimize alteration to any of the characteristics that qualify the historic property for inclusion in the National Register or diminish its integrity of setting, feeling, or association.

The recommended finding of No Adverse Effect is dependent upon the following conditions being placed on the Project:

- As part of design development along the northern edge of the historic property, vegetative screening will be reestablished wherever possible between Project elements and the StPS&TF/Omaha Road Railroad Corridor Historic District.
- To minimize visual effects and maximize compatibility with the StPS&TF/Omaha Road Railroad Corridor Historic District while still meeting the Project's Purpose and Need, the design of the Arcade Street Station, whether it is in location Option A, B, or C, will be reviewed according to the SOI Standards at the Project's 60%, 90%, and 100% Plans, with a consultation meeting prior to finalization of 60% design.

### 9.2. LS&M Railroad Corridor Historic District

Additional analysis between the 15% and 30% plans led to the determination by the Project designers that Bridge R0438 (McAfee Bridge) is so deteriorated that its condition precludes repair, and it will be replaced. As a contributing element to the LS&M Railroad Corridor Historic District, the action of removing the original bridge constitutes an additional element contributing to the adverse effect to the historic district. Since the 30% plans include a modification from the 15% plans to a known historic property, the Project MOA requires:

The FTA, with the assistance of the Metropolitan Council's Preservation Lead, shall make a finding of effect to account for any changes in Project design or the receipt of additional information that may result in newly identified historic properties, changes in the finding of effect for a historic property, or unanticipated effects (e.g., damage) to historic properties. The Metropolitan Council's Preservation Lead shall assess effects of the Project on historic properties in accordance with the criteria of adverse effect as described in 36 CFR § 800.5(a)(1) and make a recommendation to FTA, supported by documentation that meets the requirements of Stipulation II.A. The Metropolitan Council's Preservation Lead shall also recommend to FTA potential measures for avoiding, minimizing, and/or mitigating any adverse effect(s).

As per the terms of Stipulation XII, the new bridge should be designed in accordance with the SOI Standards to the extent possible to minimize additional effects. The 30% plans also reduce the LOD to other portions to the LS&M Railroad Corridor Historic District, namely at the Arlington bridge crossing, which will allow for more of the railroad bed to remain intact.

## 10. RECOMMENDATIONS

RPA-Registered archaeologist and historian Kristen Zschomler and historians Christina Slattery and Valerie Reiss have reviewed the Project's 30% plans and recommend the following.

- Most project changes between the 15% and 30% plans were within the same LODs at the 15% stage. There were several locations that extended beyond the LOD at the 15% plan stage; however, based on the project methodology as detailed in the 2020 archaeology report, all appear to have low potential for containing intact, significant archaeological sites due to previous residential, commercial, and/or railroad and roadway development. Therefore, no additional archaeological fieldwork is recommended.
- No change to the Project APE is recommended since all the changes and their potential to affect the character or use of historic properties, if any are present, are sufficiently accounted for in the previous APE boundaries.
- As per Stipulation VI.C, it is recommended that the proposed Johnson Parkway Bridge meets the SOI Standards and that commitment is completed, pending the receipt of consulting parties' comments and the consideration of such comments, as per Stipulations VI; and continued review by the Preservation Lead should occur to determine if design changes warrant reinitiating consultation.
- As per Stipulation VII, it is recommended that no CPPHPs are needed and that other means of notifying the contractor of the presence of historic properties as documented above be used, pending the receipt of consulting parties' comments and the consideration of such comments.
- The planned replacement of Bridge R0438 (also known as the McAfee Bridge) constitutes the loss of original historic fabric from the LS&M Railroad Corridor Historic District. FTA should consult with consulting parties per Stipulation XII on determining if additional mitigation will be required, or if the minimization efforts in other locations, namely the Arlington Bridge crossing, makes the current mitigation commitment commensurate with the effects to the historic district overall. As per the terms of Stipulation XII, the new bridge should be designed in accordance with the SOI Standards to the extent possible to minimize additional effects.

**2022 Goals and tactics:**

**1. Support MAHS with Spring/Summer display at the farm:**

**Team members:** Gaspar, DeMoe, Villavicencio

Outcomes	Tactics	Timeline
Significant attendance of the MAHS summer display	<p>Coordinate with MAHS to find out what the exhibit will feature.</p> <p>Coordinate with City Communications staff to assist with digital marketing.</p> <p>Use city channels and commissioner contacts to promote exhibit.</p>	Spring 2022
Significant attendance from Pre-K - 12 community	Communicate with educators	Summer/Fall 2023
	Help with acquiring with history cloths and artifacts	On-going

**2. Create interactive website highlighting Maplewood historical documents, maps, oral history, market to schools and community.**

**Team members:** Hughes, Villavicencio

Outcomes	Tactics	Timeline
Generate timeline as a base for the project.	<p>Create small team to research key Maplewood history.</p> <ul style="list-style-type: none"> <li>■ Start with city website: 60 Stories, historical context study, other city material</li> <li>■ Expand to MAHS: 3M Exhibit, Barn, other material</li> <li>■ Expand to Ramsey and MN Historical Society</li> </ul> <p>--work with communications to create and implement site.</p>	Summer 2022

Ensure multiple weekly hits to site.	<p>Creating marketing plan to pitch via social and traditional media.</p> <p>Ensure there is a plan in place to update site and incorporate new elements of Maplewood history</p>	Fall 2022
Ensure at least two schools use the site for a project.	Reach out and build relationships with educators in 622 and 623.	2022-2023 School year

### 3. Oral history of recent community members:

**Team members:** Hughes, Kearn

Outcomes	Tactics	Timeline
At least three oral histories recorded	<p>Create team to identify people to interview (Tentative: Barbara/Hughes)</p> <ul style="list-style-type: none"> <li>■ Recent</li> <li>■ Long-time</li> </ul>	Spring-Fall 2022
	<p>Work with historian to craft questions/script</p> <p>Conduct interviews</p>	Summer/Fall 2022
Incorporate oral histories in interactive website	Communications will facilitate	
	<p>Items to be aware of:</p> <ul style="list-style-type: none"> <li>● Hmong are refugees (not immigrants)</li> <li>● Need to build connections with individuals and family</li> <li>● Interview intergenerational (first generation though today)</li> <li>● Honor the stories (need a depth of interview)</li> </ul>	

#### 4. Study/evaluate historic significance of key Maplewood properties/locations

**Team members:** Cardinal, Currie, Fett

Outcomes	Tactics	Timeline
<b>Cemeteries at Poor Farm or Forrest Lawn</b>	<ul style="list-style-type: none"> <li>• Designate team to walk the land, find unmarked graves.</li> <li>• Research who might be in these plots.</li> <li>• Identify next steps</li> </ul>	Spring 2022
KSTP Building on 61 Gladstone House Monastery Lookout park (by Phalen)	<ul style="list-style-type: none"> <li>• Designate a team to begin researching each location.</li> <li>• Identify history and significance</li> </ul> <p>Team will determine next action steps on each property/site</p>	Feb 2022 – Dec 2022

#### 5. Historic designation marker for LS&M Rail Road

**Team members:** Cardinal, Currie

Outcomes	Tactics	Timeline
Signage along BRT Rush Line commemorating the significance of former rail line and County Road D Bridge  Or alternate location	<p>Connect internally with Public Works Director Steve Love, city liaison to project.</p> <p>Work with Metro Transit -- lead on Rush Line BRT construction -- to determine its plan for stop signage.</p> <p>Form a team to decided what type of signage would be appropriate.</p> <p>Team researches and recommends designs for proposed signage.</p>	

## **Historic Places:**

### List of Potential Historic Structures and Sites

#### Designated Historic Sites

The properties in this category are federal or locally designated sites. These sites have been evaluated and met requirements for Department of Interior criteria for historic significance and for historic integrity. Alterations to these that require a permit must go before the Maplewood Heritage Preservation Commission for review.

#### **National Register of Historic Places**

- Ramsey County Poor Farm Barn

#### **Maplewood Heritage Landmarks (local designation)**

- Bruentrup Heritage Farm
- Gladstone Savanna Neighborhood Preserve

#### **Century Homes**

Maplewood's Century Homes Program recognizes houses over 100 years old. In 2016, there were 136 Century Homes in Maplewood. Owners receive a Certificate from the City if they request one. The structure does not have to have historic significance or integrity. These properties are not subject to review by the Heritage Preservation Commission.

#### **Potential Historic Structure and Sites**

Properties over 50 years may be considered historic. There are many of these in Maplewood. As a city, Maplewood is interested in identifying sites that have historic significance. To determine that, a structure or site must meet Department of Interior criteria for historic significance and for historic integrity. The list below includes sites that may have historic significance and should be considered for historic evaluation. Alteration of these sites are not required to undergo review by the Heritage Preservation Commission.

#### **2014 Historic Context Study suggested following as potential sites for National Register listing**

- Forest Lawn Cemetery Mausoleum, 1800 Edgerton
- Seaholm P. Gottfried House, 1800 East Shore Drive (Moderne design)
- KSTP, 2792 Highway 61 (Art Deco/Moderne)
- Former Edgerton School (residence at 1745 Edgerton)
- Former Carver Lake School (residence at 2684 Highwood)
- JWS Frost House, 1889 Clarence
- Former St. Paul's Monastery (now Tubman Center), 2675 Larpenteur

2018 Gold Line Bus Rapid Transit Study reviewed 3M Campus for National Register listing

- 3M Campus. The study indicated 3M campus is eligible as a Historic District for National Register listing under Criterion A: History in the areas of Commerce and Invention.

## **Public Ownership or Utility**

- Aldrich Arena
- Fish Creek site
- Gladstone Savanna site (demolished RR shops)
- Former Maplewood Municipal Building (now Philippine Center, 1380 Frost, 1965)
- Keller Creek dam
- Keller Golf Course (site, not structures)
- Moose Lodge (Frost and English)
- Ramsey County Poor Farm Cemetery
- Ramsey County Corrections
- Soo Line Bridge (by Keller Creek, 1936 by WPA)
- Northern Pacific Bridge #7 (over County Road D)
- Cow Access Tunnel under prosperity Avenue
- Gladstone Community Center (on Frost 1950's)
- St. Paul Water Works (1869 and later expansions)
- Spoon Lak historic grove

## **Non-Profit**

- Old Betsy Fire Truck
- St. Paul's Monastery (now Tubman Center)
- St. Paul Ski Club Ski Jump

## **Churches and Cemeteries**

- First Evangelical Free Church (Hazelwood near County C, was Hazelwood School)
- St. Jerome's (Roselawn and Mcmenemy) (Examined 2022 – nothing appears significant)
- Presentation of the Blessed Virgin Mary (Kennard & Larpenteur, 1966, Garden of Mary remnants from 1948)
- Cross Lutheran Church (Frost & Prosperity, 1958)
- Union Cemetery (on Minnehaha, 1889)
- Forest Lawn Cemetery and Mausoleum
- Mt. Zion Cemetery (Payne & Larpenteur, 1889)
- Holy Redeemer Church (story)
- Islamic Center (former branch library)

## **Private**

- Former Parkside Fire station (1958)
- Former East County Line Fire Station (on Century, 1947)
- Henning's Cabins (on Hwy 61)
- Maplewood Mall (1974)
- Saints North Roller Skating Rink (on Gervais Court, 1973)
- Schoeder's Dairy
- Carver General Repair Garage
- Pink Castle or Chicken Shack (2720 Maplewood Drive)

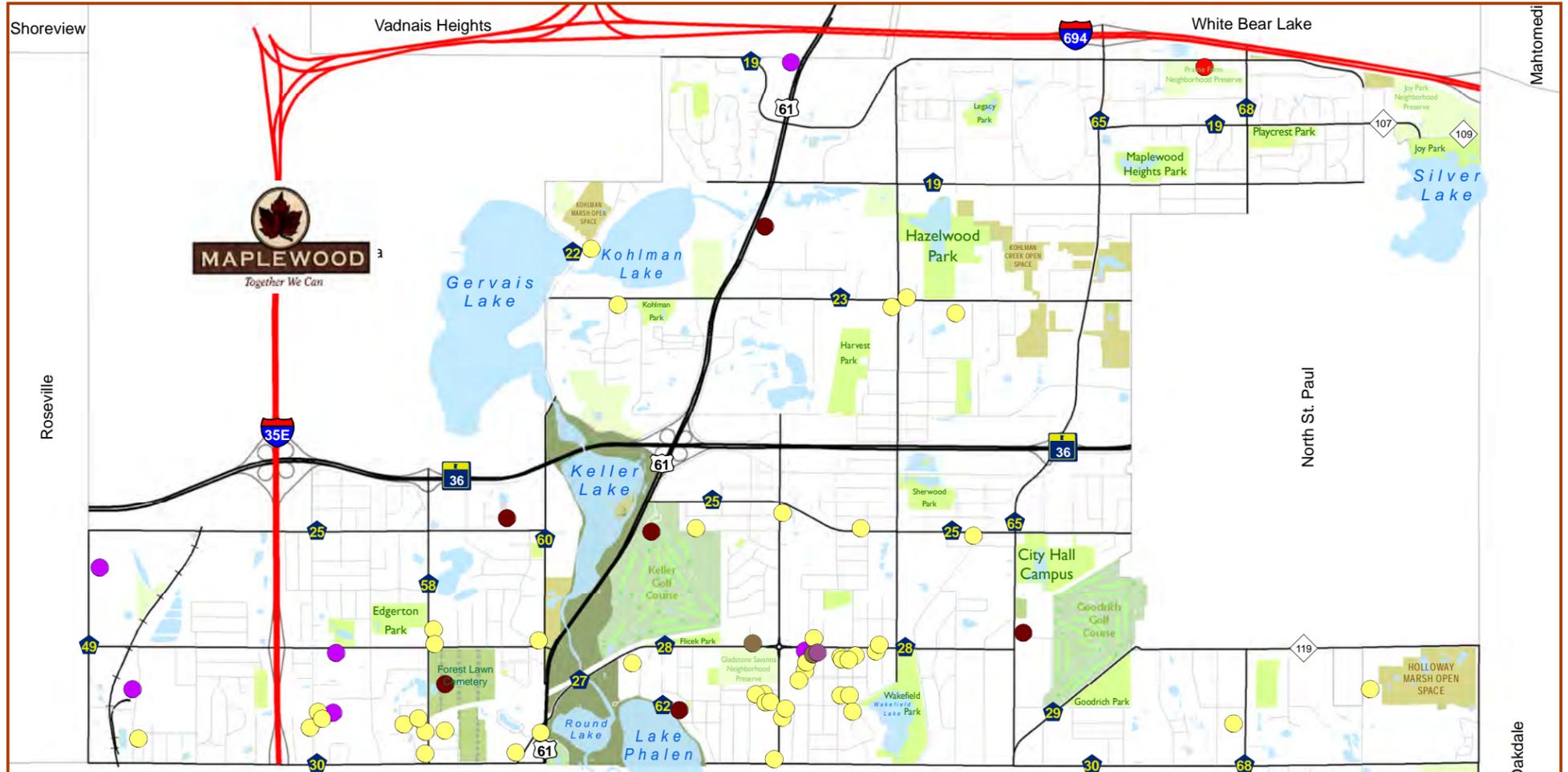
- The Plaza Theater (Larpenteur & White Bear Avenue)
- Hillside School (private childcare, 1709 McKnight, 1940's)
- Soo Line Section House (now private residence at 1467 Frost near Barclay)
- Former Carver Lake Tavern (now private residence)
- Carver Lake School (private home at 2684 Highwood Avenue, 1894)
- Mike's LP Gas (Clarence & Frost)
- Origination
- Older/significant homes – many on list
  - Farmhouse 1765 Gurney
  - house 1928 Barclay St. N
  - house 1964 Barclay Ave. St. N
  - farmhouse 2410 Carver Ave. E
  - Ledo House 2510 Carver Ave. E
  - Julius and Tina Schroer House (Sundgaard House) 1865 Clarence St. N

#### Lost structures or lost history

- Indian settlements
- Old roadway – stage coach lines – train tracks – native paths
- Indian mounds
- Londin Lane Fire Station (1979) (Demolished 2022)
- Maple Leaf Drive-In theater
- Minnehaha Drive-In Theater
- St. Paul Tourist Cabins
- Kennel Club at Joy Park
- Keller Golf Club House
- Keller Creek falls
- Plow Works
- Northern Aire Sign
- Tourist Cabins (Sign is at MHS)
- Lakeview Lutheran (County Road C and Hwy 61) (new building now)
- Hennings Cabins (on Highway 61)
- Cocktail Sign

#### City Parks and Preserves

The only city park or preserve with historic designation and subject to review by Heritage Preservation Commission is Gladstone Savanna Neighborhood Preserve. Several parks have interesting histories to document.



## Historical Properties

1	M	1350 Frost Ave	Mikes L.P. Gas (Former Keller Grocery Store)
2	M	1900 Rice St	St Paul Water Works & Old house-removed yrs ago display at Water Works
3	M	2080 Rice St	Schroeder Milk
4	M	380 Roselawn Ave	St Jerome Church
5	M	1320 County RD D	Hillcrest Animal Hospital -it was remodeled & expanded
6	M	1765 McMenemy St	Was a house and is now the St Paul Hmong Alliance Church
7	M	2170 County Road D	The New Location of the Bruentrup Farm (Moved in 1999)
8	M	741 County Road B East	House
9	M	1800 Edgerton Street	Forest Lawn Cemetery Mausoleum
10	M	1800 Shore Drive	Seaholm P. Gottfried House
11	M	2166 Maplewood Drive	Keller Golf Clubhouse
12	M	2792 Highway 61	KSTP Transmitter
13	M	2020 White Bear Ave	Ramsey Count Poor Farm Milkhouse, Garage & Smokestack
14	M	1741 Arcade Street	St Paul Tourist Cabin Sign & House
15	M	940 Frost Ave	Original St Paul Tourist Cabins
16	M	1865 Clarence Street	Sundgaard House (Gordies - Son Kip)
17	U	1780 Clarence Street	House
18	U	1825 Desoto Street	Could not find may be wrong address
19	U	1915 Desoto Street	House (Masloski 1997)
20	M	1745 Edgerton Street	House - (First Edgerton School building ) (RC 1887)
21	M	2684 Highwood Ave	Was the Caver Lake School
22	U	2150 Rice St	House
23	M	970 County Rd C	House
24	M	1534 County Rd C	House (Owner 1997 mail to 2676 English St 55109)
25	M	1559 County Rd C	House
26	M	1622 County Rd C	House ( Kohler)
27	U	1655 County Rd D	In 1997 the Owner estimates age at 125 yrs or more ( RC 1888)
28	U	1700 County Rd D	Old Hajicek Farm Site
29	M	1960 Edgerton St	House Orig.
30	M	900 Kohlman Lane	House
31	M	2200 English Street	House
32	M	1467 County Road B	House (1997 RC 1888)
33	M	2155 Prosperity Rd	House (1997 mail to 1910 Burns Ave #126, St Paul, MN 55119-4937)
34	M	1490 Frost Ave	House
35	M	1503 Frost Ave	House ( Holmberg)
36	M	1826 Birmingham Street	House -(May be one the working class homes built for Gladstone workers
37	M	1821 Manton Street	House ( May be one of working class homes in Gladstone Built in 1890)
38	M	1280 Frisbie Ave	House (May a working class homes built in 1890 for Gladstone workers
39	M	1254 Frisnie Ave	House (May a working class homes built in 1890 for Gladstone workers
40	M	1933 Arcade Street	House
41	M	1700 Bradley Street	House
42	M	1685 Edgerton Street	House
43	M	1730 Sylvan Street	House (Address either 1730 or 1830)
44	M	1741 McMenemy St	House
45	M	2670 Minnehaha Ave	House
46	M	1480 Sterling Street	House (Johe Ledo)(Home razed 12/96)(2002 Edna Ledo had photos)
47	M	1889 Clarence Steet	House (Frost, Schroer, Reckenwald) (RC 1911 - Portion)
48	M	2170 Day Road	House (Gerten)
49	M	923 Century Ave	House
50	M	2492 Highwood Ave	House ( KT &LR over 100 yrs per Bruce Espeerson - prev. Owners son
51	M	1904 Manton Street	House
52	M	1894 Birmingham Street	House
53	M	1851 Clarence Street	House (1997 Center was 1-room school moved there)
54	M	1780 English Street	House
55	M	1279 Ripley Ave	House
56	M	1285 Ripley Ave	House
57	M	1766 McMenemy St	In 1997 the owner does not think the house is 100 years old yet
58	M	1768 McMenemy St	House
59	M	601 Kingston Ave	House
60	M	2410 Carver Ave	House ( RC records 1892)
61	M	1640 Myrtle Ave	House
62	U	2464 Maplewood Dr	House (Zuercher )(1997 mail to 2686 5th Ave E No. St Paul 55109-9312)
63	U	2483 Maplewood Dr	Was the Hochmuth House
64	U	30xx Maplewood Dr	House
65	U	County Rd C & Hazelwood	House
66	M	1890 Birmingham Street	House
67	M	1895 Manton St	House
68	M	1450 Ripley Ave	House (Wakefield)
69	M	2071 English St	House (1997 Would like to know exact age of house - abstract 1900)
70	M	1800 English St	House (1997 mail to 2152 Prosperity Rd (Shane House) Interior restored
71	M	1685 English St	House (1997 Henry Scharfbilling)
72	M	1930 Edgerton St	House (Owner saw very old photo at Heritage Center)
73	U	1750 McMenemy St	House
74	M	1765 McKnight Rd	House
75	M	1777 Edgerton St	House
76	M	1203 Parkway Dr	House (1997 House was being renovated)
77	M	2710 Maryland Ave	House
78	M	2591 Stillwater Rd	House - 1997 Renovation done
79	M	2510 Carver Ave	House (Ledo)
80	U	1501 Henry Ln	House (Schlomka)
81	M	2507Knoll Cir	House - Remodeled?
82	M	1938 Clarence St	Duplex - Originally a boarding house
83	M	1928 Barclay St	House
84	U	2020 White Bear Ave	Ramsey County Poor Farm Barn
85	M	1900 Clarence Street	First Maplewood Village Hall/Gladstone Fire Station
86	M	1249 Frost Ave	Second Maplewood Village / City Hall
87	M	1380 Frost Ave	Old Maplewood City Hall
88	U		First Maplewood Library Building
89	U		Gladstone Shop Ruins
90	U		Ramsey County Cemetery
91	U		Poor Farm Cow Tunnel at Wakefield
92	U		Tourist Cabins Sign
93	U		Plala Theater (Oldest theatre in Maplwood)
94	U		Northernaire Motel (Oldest Motel in Maplewood)
95	U		WPA dam on Keller Creek
96	M	2301 McKnight Rd	3M 101 BLDG (The First 3M Building in Maplewood)



Mendota Heights

Woodbury

Oakdale

Mahtomedi

Shoreview

Roseville

North St. Paul

Newport

# Minnesota Multiple Property Inventory Form



Please refer to the *Historic and Architectural Survey Manual* before completing this form.

Must use *Adobe Acrobat Reader* to complete and save this form. *Adobe Acrobat Reader* can be downloaded at: <https://get.adobe.com/reader/?promoid=KLXME>

## General Information

Historic Name: 3M Center  
Other Names: 3M Center Historic District  
Inventory No.: RA-MWC-0010  
Multiple Property Category: District  
Multiple Property Category (if other): \_\_\_\_\_  
New or Updated Form: New Review and Compliance No.: 2014-0398  
Extant: Yes Agency Proj. No.: \_\_\_\_\_  
Survey Type: Intensive (Phase 2) Grant No.: \_\_\_\_\_

## Location Information

Street Address: ~~2301 McKnight Rd N~~ 2510 Conway Ave E  
County: Ramsey City/Twp: Maplewood  
If Multiple, List All Counties: \_\_\_\_\_ If Multiple, List All Cities/Townships: \_\_\_\_\_

Total Acres: 411

### UTM Coordinates:

USGS 7.5 Quad Name(s): Lake Elmo, MN 1993  
Township: 29 Range: 22 E/W: \_\_\_\_\_ Section: 36  
QtrQtrQtr: \_\_\_\_\_ QtrQtr: \_\_\_\_\_ Qtr: \_\_\_\_\_  
Township: \_\_\_\_\_ Range: \_\_\_\_\_ E/W: W Section: \_\_\_\_\_  
QtrQtrQtr: \_\_\_\_\_ QtrQtr: \_\_\_\_\_ Qtr: \_\_\_\_\_

Datum:	NAD 1983	
UTM Zone	Easting	Northing
15T	499841	4978827
15T	500370	4978830
15T	500372	4978486
15T	500569	4978415
15T	500558	4978114
15T	500505	4978111
15T	500507	4978066
15T	501182	4977999
15T	501064	4977384
15T	500777	4977280
15T	499643	4977478
15T	499626	4978477
15T	499750	4978618

Property Identification Numbers (PINs): 123-362922240005; 123-362922230002

If more space is needed for location information, please submit on a separate sheet.

## Previous Determinations

- National Register Listed  SEF  
 NPS DOE  Locally Designated  
 State Register Listed  Not Eligible  
 CEF District Name: \_\_\_\_\_

RA-MWC-0025

# Historic Sites Survey

Ramsey County Historical Society Saint Paul Heritage Preservation Commission

1. Street Address/  
Location: 2792 N. Highway 61
2. District/village: 101
3. Common name: KSTP AM Transmitter
4. Historic name: KSTP AM Transmitter
5. Original use: radio transmitter
6. Present Use: radio transmitter station
7. Access: Yes  No  Limited
8. Period of construction: 1939
9. Style: Zigzag moderne
10. # of bays: 1
11. # of stories: 1
12. Roof style: flat
13. Roof covering: not visible
14. Dormer style & #: none
15. Chimney style, material, location & #: 1 exterior endwall brick
16. Type of fenestration: rectangular many paned fixed
17. Type of foundation: not visible
18. Structural system/main exterior wall covering: Wood frame: clapboard shingle  
aluminum asbestos  Brick: X stretcher bond American bond header bond  
Stone: random rubble coursed rubble random ashlar coursed ashlar  
Type of stone/brick or other bonding pattern: brownish orange pressed brick  
Concrete block Cast concrete Stucco Terra cotta Curtain wall  
Glass/metal Other:
19. Other significant details:  
Blockish brick building flanked by brick wings with attached brick garage on south side. Concrete coping at roofline steps up at center of facade over large raised letters KSTP. Entrance and flanking windows are surrounded by concrete rectangular panel, corners of which are accentuated by slightly projecting vertical bands. (#28)
20. Integrity of Design:  basically intact & unaltered  altered slightly  
 alterations & additions more apparent than original  original design not apparent
21. Physical condition of building:  Excellent  Good  Fair  Poor  Deteriorated
22. Additions and alterations:
23. If a corner lot, describe:  NW  NE  SE  SW corner of                      cross street
24. Side of street: East
25. Setting:  agricultural  residential  commercial  industrial  suburban  
Other:
26. Significant site and landscape features:
27. Threats to site: none
28. Additional comments:  
(#19) Flanking door are two large round engaged columns which support a larger concrete overhang with wide fluting. Door has octagonal window and above door is rectangular concrete panel with raised letters reading KSTP, with wavy bands of raised concrete.
29. Date(s) of site visit(s): 4/7/82
30. Negative file number(s): 301/101/44
31. Map location code (if applicable):

Planning District: 101  
 Village #: 101  
 Address/Location: 2792 N. Highway 61  
 Historic Name: KSTP AM Transmitter  
 Record No: KSTP AM Transmitter

33. Architect/engineer: Liebenberg and Kaplan  
 34. Builder/contractor: \_\_\_\_\_  
 35. Present Owner: KSTP  
 Address: \_\_\_\_\_  
 36. Date built: 1939  
 37. Date source: Mr. Hubbard,  
Mr. Brown

38. Legal Description: \_\_\_\_\_

39. Building Permit #: \_\_\_\_\_

40. Location of architect's drawings: Hammel, Greene, and Abrahamson (present KSTP architects)

41. On National Register? Yes  No 42. National Register potential?  Yes  No

43. HPC/local historic site? Yes  No 44. Local designation potential? NA  Yes  No

45. In historic district? Yes  No 46. Historic district potential?  Yes  No

Which? \_\_\_\_\_  
 If yes, explain rationale: \_\_\_\_\_

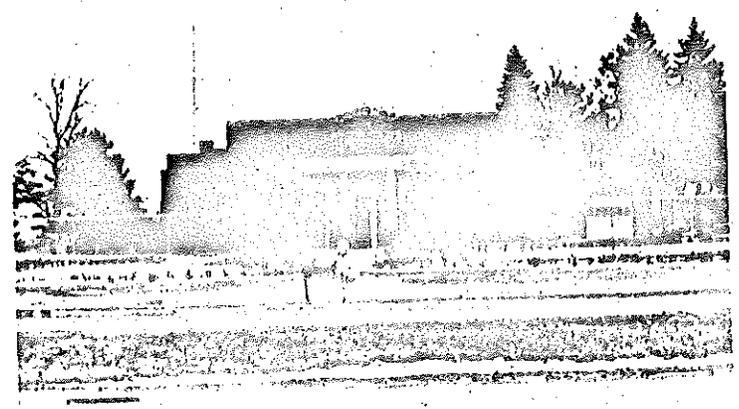
47. Historical background:  
 KSTP radio was established ca. 1928 and first located in a building about six miles south of the Mendota bridge called "Radio Center". In ca. 1936 the facility moved to a building on N. Snelling Avenue which it occupied for about 3 years. In 1939 this radio transmitter station was constructed on Highway 61. It was designed by Minneapolis architects Liebenberg and Kaplan, who designed some of the most sophisticated Art Deco buildings in the Twin Cities.

48. Level of significance:  Local  State  National

49. Statement of significance:  
 This building is architecturally significant as a classic example of an Art Deco zigzag design on a small scale. The building is one of two known Liebenberg and Kaplan buildings in Maplewood (the other is the Minnehaha Drive In at 2260 Minnehaha Ave., 1949). The building is also important to the history of radio in the Twin Cities.

50. Sources of information:  
 Conversation with Ray Brown, KSTP employee, August, 1982.  
 Conversation with Mr. Hubbard, KSTP owner, August, 1982.  
 Polk's St. Paul Suburban Directory, 1956.  
 Historic Sites Survey Architect and Contractor File.

Photographs



DRAFT

MWC-0003

United States Department of the Interior  
National Park Service

For NPS use only

received

date entered

National Register of Historic Places  
Inventory—Nomination Form

See instructions in How to Complete National Register Forms  
Type all entries—complete applicable sections

1. Name

historic  Forest ~~Lawn~~ Cemetery Mausoleum

and/or common Forest Lawn Memorial Park Mausoleum

2. Location

street & number 1800 N. Edgerton Street  not for publication

city, town Maplewood  vicinity of

state Minnesota zip code 55422 county Ramsey code 123

3. Classification

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
		<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input type="checkbox"/> park
			<input type="checkbox"/> private residence
			<input type="checkbox"/> religious
			<input type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input checked="" type="checkbox"/> other: cemetery mausoleum

4. Owner of Property

name Forest Lawn Cemetery

street & number 1800 N. Edgerton Street

city, town Maplewood  vicinity of state Minnesota

5. Location of Legal Description

courthouse, registry of deeds, etc. Ramsey County Courthouse

street & number 15 W. Kellogg Boulevard

city, town St. Paul  vicinity of state Minnesota

6. Representation in Existing Surveys

Historic Sites Survey of St. Paul  
title and Ramsey County

has this property been determined eligible?  yes  no

date 12/1980-12/1982  federal  state  county  local

depository for survey records Ramsey County Historical Society, 75 W. 5th Street

city, town St. Paul  vicinity of state Minnesota

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## 7. Description

---

**Condition** excellent good fair deteriorated ruins unexposed**Check one** unaltered altered**Check one** original site moved date \_\_\_\_\_

---

**Describe the present and original (if known) physical appearance**

Forest Lawn Description

The Forest Lawn Cemetery Mausoleum is located at 1800 N. Edgerton Street within the 125 acre Forest Lawn Cemetery in suburban <sup>Maplewood, north of the city of St. Paul.</sup> North St. Paul. The southern portion of the cemetery is surrounded by an ornate cast iron fence and the cemetery is situated in a mixed residential and light industrial area.

The ~~xxxxxxx~~ mausoleum, which was completed in November of 1918, was designed by Chicago architect Cecile Bryon <sup>von</sup> and constructed by the ~~Kxxxx~~ Keystone ~~xxxxxxx~~ Mausoleum Company of Franklin, Pennsylvania (<sup>predecessor</sup> ~~to~~ of the St. Paul Mausoleum Company). <sup>under the supervision of Thomas C. Smith,</sup> The one story Beaux Arts inspired building was constructed at an

estimated cost of \$197,866 of smoothly dressed coursed ashlar white Bethel granite produced by the Woodbury Granite Company of Vermont. The mausoleum has a <sup>formally composed, symmetrical,</sup> ~~symmetrical,~~ three bay design, with a <sup>projecting</sup> central gable roofed temple front with a ~~simple~~ <sup>pediment</sup> pediment supported by <sup>paired</sup> ~~two~~ <sup>Tuscan</sup> columns. The tympanum is decorated with a stone relief sculpture of the Last Supper and the words "Forest Cemetery Mausoleum" are incised in the frieze. The temple front is flanked by <sup>lower,</sup> projecting wings with pedimented pavilions at the ~~xxxxx~~ outer ends. The building has

rectangular window openings, <sup>almost all of</sup> several of which are filled with <sup>brightly colored</sup> stained glass <sup>topped by</sup> ~~with~~ <sup>incorporation</sup> triangular metal muntins. <sup>At the base of each of the end pavilions is a large urn on a square pedestal.</sup>

The interior of the building is faced with <sup>white, grey veined</sup> Alaska Gray marble from the Vermont Marble Company of Chicago. The interior features <sup>a central hall with four, axial side aisles and its basement crypt features a similar plan.</sup> The building has numerous, brightly colored, finely detailed art glass windows with depictions of flowers, foliage, female figures, etc. <sup>These windows cost \$4,000. They were made by the Forman Ford Company of Minneapolis.</sup> The Forest Lawn Cemetery Mausoleum is in good condition and basically intact.

Exterior alterations have included a <sup>brick</sup> ca. 1960 rear addition, the installation of glass block in the basement level windows, and the installation of new <sup>glass doors</sup> doors on the <sup>main</sup> west facade. <sup>the glass is</sup> (Pat: ~~does this mean main facade~~ ~~is its on the east side of Edgerton?~~)

Also, raised letters reading "Forest Lawn" have been installed in the frieze.

## 8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/ humanitarian
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
		<input type="checkbox"/> invention		

**Specific dates** 1918

**Builder/Architect** Cecile Bryon, architect

**Statement of Significance (in one paragraph)**

Keystone Mausoleum Company, builder

forest lawn significance

The Forest ~~Lawn~~ Cemetery Mausoleum, built in 1918 and located within Forest Lawn <sup>Memorial Park</sup> ~~Cemetery~~ in suburban Maplewood, is significant as a sophisticated Beaux Arts style building which is one of the two most architecturally important cemetery structures in Ramsey County, and ~~is~~ is one of the county's ~~xxx~~ few examples of a Beaux Arts inspired design constructed on a large scale. *The Mausoleum contains an impressive collection of original stained glass windows.*

The Forest ~~Lawn~~ Cemetery Mausoleum stands within Forest Lawn <sup>Memorial Park</sup> Cemetery, *as the St. Paul Cemetery and renamed Forest Cemetery before the mausoleum was built.* established in 1894. At the time ~~that~~ it was ~~plotted~~ plotted, the cemetery was located in a largely rural area north of the St. Paul city limits. The cemetery was accessible to residents of the city ~~xxx~~ via the Wisconsin Central Railroad line (now the Soo Line) and the Payne Avenue streetcar line, both of which ~~xxx~~ ran near the cemetery boundaries. The mausoleum, which was completed in 1918, predates nearly all surrounding buildings, with the exception of a small cluster of turn of the century houses located between DeSoto and Edgerton Streets just north of <sup>W</sup> ~~Larpentuer~~ Avenue. This group of houses was a northern extension of St. Paul's Payne Avenue neighborhood. ~~xxx~~ Most of the <sup>other</sup> buildings ~~xx~~ neighboring the cemetery were constructed after World War II. The cemetery now stands in the municipality of Maplewood, which was incorporated in 1957.

The Forest Lawn Cemetery Mausoleum was designed by Chicago architect Cecile Bryon <sup>2</sup> and constructed by the Keystone Mausoleum Company of Franklin, Pennsylvania, which later became the St. Paul Mausoleum Company. It was built for an <sup>s</sup> ~~estimated~~ estimated \$197,866 of granite and marble acquired from companies in Vermont and Chicago. The mausoleum was the most expensive cemetery building constructed in Ramsey County <sup>before 1940.</sup> It was included in a two year historic sites survey of over 5,000 historically and architecturally significant buildings

*To cemetery originally owned a much larger parcel of land that extended from Edgerton to Arcade, and from Roselawn to Larpentuer Avenue. The cemetery sold a part of the site in the late 1900s, and the cemetery thus made its present size.*

*The Cemetery was again named "Forest Lawn Cemetery" ca. 1950, and is now the "Forest Lawn Memorial Park". The cemetery has always been a not-for-profit, non-denominational one.*

*known to have been*

in St. Paul and Ramsey County conducted by the Ramsey County Historical Society and the St. Paul Heritage Preservation Commission in 1981-82. The survey identified the building as being one of the two most architecturally significant cemetery structures in Ramsey County. The ~~other building~~

second

significant cemetery ~~building~~ site identified by the survey was the Gothic Revival style Roselawn Cemetery Chapel and Office in Roseville, built in 1903 and designed by Cass Gilbert and <sup>Thomas Holyoke</sup> ~~James Knox Taylor~~. The

survey found other cemetery structures in the county to be much ~~is~~ more modest in design and scale than the Forest Lawn or Roselawn buildings.

The historic sites survey also <sup>determined</sup> ~~identified~~ the Forest Lawn Cemetery Mausoleum

<sup>to be</sup> ~~one of the~~ Ramsey County's best examples of the Beaux Arts style, ~~a style which did not gain widespread popularity in the county~~

~~was not as popular in the county as in other parts of the country.~~ Ramsey

County's other significant ~~examples~~ of the style include the monumental Minnesota State Capitol (1896-1905), the St. Paul Public Library (1914-17), and three smaller branch libraries built in St. Paul, <sup>in</sup> 1916. Additional Beaux Arts style buildings in the county include several banks, schools, and office buildings, most of which were built on a smaller scale.



RA-110C-0003

# Historic Sites Survey

Ramsey County Historical Society

Saint Paul Heritage Preservation Commission

1. Street Address/ Location: 1800 N. Edgerton Street
2. District/village: 101
3. Common name: Forest Lawn Cemetery Mausoleum
4. Historic name: Forest Cemetery Mausoleum
5. Original use: Mausoleum
6. Present Use: Mausoleum
7. Access: Yes No  Limited
8. Period of construction: 1918
9. Style: Classical Revival
10. # of bays: 3 11. # of stories: 1 12. Roof style: Gabled
13. Roof covering: Not visible
14. Dormer style & #: None
15. Chimney style, material, location & #: 1 interior concrete
16. Type of fenestration: Rectangular fixed stained glass
17. Type of foundation: Not visible
18. Structural system/main exterior wall covering: Wood frame: \_\_\_ clapboard \_\_\_ shingle  
aluminum \_\_\_ asbestos \_\_\_ Brick: \_\_\_ stretcher bond \_\_\_ American bond \_\_\_ header bond  
 Stone: \_\_\_ random rubble \_\_\_ coursed rubble \_\_\_ random ashlar \_\_\_ X coursed ashlar  
Type of stone/brick or other bonding pattern: Smoothly dressed Bethel white granite  
Concrete block \_\_\_ Cast concrete \_\_\_ Stucco \_\_\_ Terra cotta \_\_\_ Curtain wall  
Glass/metal \_\_\_ Other: \_\_\_
19. Other significant details:  
Central gable roofed temple front building with symmetrical projecting wings with pedimented pavillions at ends. Relief of "Last Supper" in tympanum, "Forest Cemetery Mausoleum" incised in frieze, entablature supported by stout round columns without bases. Tiffany-like stained glass windows.
20. Integrity of Design: \_\_\_ basically intact & unaltered  altered slightly  
\_\_\_ alterations & additions more apparent than original \_\_\_ original design not apparent
21. Physical condition of building: \_\_\_ Excellent  Good \_\_\_ Fair \_\_\_ Poor \_\_\_ Deteriorated
22. Additions and alterations: Rear addition. Glass block windows in basement, new west doors.
23. If a corner lot, describe: \_\_\_ NW \_\_\_ NE \_\_\_ SE \_\_\_ SW corner of \_\_\_ cross street
24. Side of street: East
25. Setting: \_\_\_ agricultural \_\_\_ residential \_\_\_ commercial \_\_\_ industrial \_\_\_ suburban  
 Other: In Forest Lawn Cemetery
26. Significant site and landscape features:  
Southern portion of cemetery itself is surrounded by an ornate cast iron fence in excellent condition.
27. Threats to site: None
28. Additional comments:

Planning district/  
village #: 101

Address/  
Location: 1800 N. Edgerton Street

Historic  
Name: Forest Cemetery Mausoleum

Common  
Name: Forest Lawn Cemetery Mausoleum

29. Date(s) of site visit(s): 3/15/81
30. Negative file number(s): 366/101/ 30, 294/101/22
31. Map location code (if applicable): \_\_\_
32. Name of fieldworker: S. Granger

33. Architect/engineer: Cecile Bryor (Chicago)  
 34. Builder/contractor: Keystone Mausoleum Co., Franklin, PA (later became St. Paul Mausoleum Co.)  
 35. Present Owner: \_\_\_\_\_ 36. Date built: 1918  
 Address: \_\_\_\_\_ 37. Date source: Forest Lawn Cemetery Records

38. Legal Description: \_\_\_\_\_

39. Building Permit #: \_\_\_\_\_

40. Location of architect's drawings: \_\_\_\_\_

41. On National Register? Yes  No 42. National Register potential?  Yes No

43. HPC/local historic site? Yes  No 44. Local designation potential? NA Yes No

45. In historic district? Yes  No 46. Historic district potential? Yes  No

Which? \_\_\_\_\_ If yes, explain rationale: \_\_\_\_\_

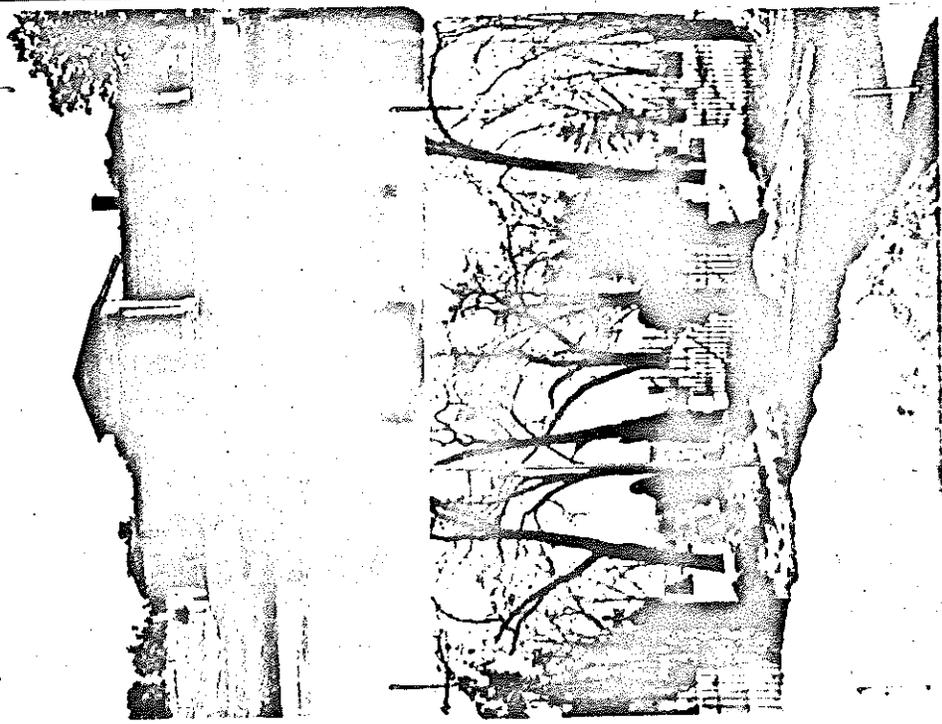
47. Historical background: The Forest Lawn Cemetery mausoleum was designed by Chicago architect Cecile Bryor. The mausoleum, under construction for over 1½ years, was completed in November 1918 at a cost of \$197,866. The exterior is faced with Bethel White granite from the Woodbury Granite Company of Vermont. The interior features Alaska Gray marble from the Vermont Marble Company of Chicago. The mausoleum is owned and operated by the Forest Lawn Cemetery, which was formed in 1894.

48. Level of significance:  Local State National

49. Statement of significance: A monumental stone Classical Revival mausoleum which is one of the most architecturally significant cemetery buildings in Ramsey County and stands as a focal point in this residential and light industrial portion of Maplewood.

50. Sources of information: R. L. Polk's St. Paul City Directory, 1894.  
Forest Lawn Cemetery Records.

Phot:



Minnesota Historical Society  
SITE SURVEY FILE REPORT

RA-MWC-0003

Contact sheet # 01975

Photographer: Charles Nelson

Date: 2 August 1977

Site Name: Mausoleum

Site Address: Forest Lawn Cemetery,  
Roselawn Ave &  
Edgerton St.

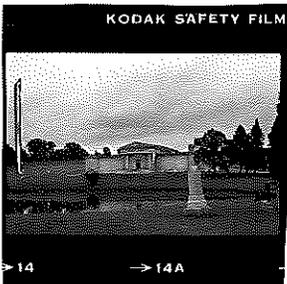
County: Ramsey

Print #

14A

View/Direction

northwest (front)



RA-MWC0039

# Historic Sites Survey

Ramsey County Historical Society Saint Paul Heritage Preservation Commission

1. Street Address/ Location: 380 E. Roselawn Avenue
2. District/village: 101
3. Common name: Church of St. Jerome
4. Historic name: Church of St. Jerome
5. Original use: Church
6. Present Use: Church
7. Access: Yes No  Limited
8. Period of construction: 1941-42
9. Style: Gothic Revival
10. # of bays: 1
11. # of stories: 1 1/2
12. Roof style: Jerkinhead
13. Roof covering: asphalt shingles
14. Dormer style & #: 6 triangular vents, 3 hipped
15. Chimney style, material, location & #: 1 interior endwall brick and stone
16. Type of fenestration: rectangular fixed stained glass
17. Type of foundation: not visible
18. Structural system/main exterior wall covering: Wood frame:  clapboard  shingle  
aluminum  asbestos  Brick:  stretcher bond  American bond  header bond  
Stone:  random rubble  coursed rubble  random ashlar  coursed ashlar  
Type of stone/brick or other bonding pattern: rockfaced limestone and sandstone  
Concrete block  Cast concrete  Stucco  Terra cotta  Curtain wall  
Glass/metal  Other:
19. Other significant details:  
Open hipped roof entrance porch with square stone columns. Buttresses divide bays of side walls. Paired windows have sandstone lintels and sills. North side has additional entrance and statue of Our Lady of Fatima at end of short transept arm. Stucco covered rectory wing at east end has 8/8 windows. Steeple at transept crossing has wooden ventilator base.
20. Integrity of Design: basically intact & unaltered  altered slightly  
alterations & additions more apparent than original  original design not apparent
21. Physical condition of building: Excellent  Good  Fair  Poor  Deteriorated
22. Additions and alterations:  
Rectory addition.
23. If a corner lot, describe: NW NE SE SW corner of \_\_\_\_\_ cross street
24. Side of street: south
25. Setting:  agricultural  residential  commercial  industrial  suburban  
Other: \_\_\_\_\_
26. Significant site and landscape features:  
Adjacent to ca. 1960 St. Jerome's school.
27. Threats to site: none
28. Additional comments:  
#47. at a cost of about \$60,000. The stained glass windows and interior furnishings were financed through gifts. The present bell of the church, which was installed in 1945, was formerly used on a Navy ship. The shrine to Our Lady of Fatima on the north grounds of the church was completed in 1949.

Planning district/  
village #: 101

Address/  
Location: 380 E. Roselawn Avenue

Historic Name: Church of St. Jerome

Common Name: Church of St. Jerome

29. Date(s) of site visit(s): 3/15/81
30. Negative file number(s): 295/101/13
31. Map location code(if applicable): \_\_\_\_\_
32. Name of fieldworker: S. Granger

33. Architect/engineer: J. C. Niemeyer  
 34. Builder/contractor: Peter O. Nasvik  
 35. Present Owner: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 36. Date built: 1941-42  
 37. Date source: Church of St. Jerome booklet

38. Legal Description: \_\_\_\_\_

39. Building Permit #: \_\_\_\_\_

40. Location of architect's drawings: \_\_\_\_\_

41. On National Register? Yes  No 42. National Register potential? Yes  No

43. HPC/local historic site? Yes  No 44. Local designation potential? Yes  No

45. In historic district? Yes  No 46. Historic district potential? Yes  No

Which? \_\_\_\_\_ If yes, explain rationale: \_\_\_\_\_

47. Historical background:

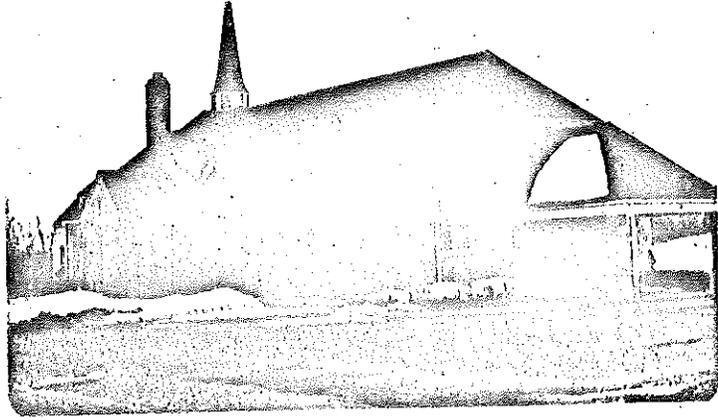
The parish of St. Jerome was organized in the summer of 1940 to serve residents of the northern edge of St. Paul and rural Ramsey County. Services were first held in Edgerton School. In April of 1941 the present 5 acre site, formerly part of the Mooney farm, was purchased and the cornerstone of the new church was laid in June of 1941. The new church designed by J. C. Niemeyer, was dedicated March 22, 1942. Father J. Wilson Brady was the first parish priest. Brick and yellow limestone used in the construction of the church were salvaged from a demolished high school in Stillwater, Minnesota. The finished church was designed to seat 300 people and the church and attached rectory were constructed (#28)

48. Level of significance:  Local  State  National

49. Statement of significance:  
 A nice stone Gothic Revival church that was constructed using old building materials and therefore appears older than it is.

50. Sources of information:  
Tenth Anniversary, Church of St. Jerome, 1940-1950. Commemorative brochure published in 1950.

Photographs



# Historic Inventory

Inventory Number

PIN:

County: **Ramsey**

City/Township: **Maplewood**

Property Name: **St. Paul's Priory**

Address: **2625 Larpenteur Ave.**

Category: **Religion**

Type: **monastery**

NRHP:  CEF  Y  DOE  SEF  CNEF CNEF Date:

Historic Context:

Photos:

Survey Date: Location Confidence: **1** Acreage: **40**

Entry Date: **1/11/2007** Update Date: **9/21/2010**

Need Form Contact: Date Requested:

File in Archives  Tax Project

Comments:

Style

## Architects

Inventory Number	<input type="text" value="RA-MWC-0"/>	ArchBuildEng Name	<input type="text" value="Michelson, Val"/>
Architect	<input checked="" type="checkbox"/>	Builder	<input type="checkbox"/>
Engineer	<input type="checkbox"/>	Construction	<input type="checkbox"/>
Addition	<input type="checkbox"/>	Alteration	<input type="checkbox"/>
Date	<input type="text" value="0"/>		

Inventory Number **RA-MWC-0050**

Dates

Property Date:  Construction  Demolition  Addition  Move  Major Alteration   
Original Date  Circa  Pre  Post  Inventory Number:   
Building:

TRS

Township  Range  East/West  Section  Quarter Sections   
Quad

UTM

UTM Zone  Easting  Northing  Datum

Reviews

Reports

**Roth, Susan**

---

**From:** Roth, Susan  
**Sent:** Friday, July 02, 2010 7:59 AM  
**To:** Charlene Roise (roise@hessroise.com); Stephanie K. Atwood (atwood@hessroise.com); Pate, Linda  
**Subject:** Priory Visit

Charlene and Stephanie

Remarkable building. We have to give the good nuns credit. Or good *sisters* as they preferred to be called.

The boundary for this type of property can be fussy. Nuns seem to like a buffer. My skills at reading a landscape are not well developed so I can't tell if the presence of what looks to be glacial drumlins and eskers are natural or designed features. I also don't have much of a sense on what is on the other side of the road that you pointed out near the end of the tour. What acreage was in place when the complex as we see it today was completed? Let's hope that the Michelson papers and the order's archives provide some answers.

The proposed kitchen troubles me, particularly when a perfectly usable kitchen is available. The present kitchen may be large, but since when is a kitchen ever been faulted for being too big? (They can start by using half and in two months find they need the other half). Unless the proposed room is tiled (like the present kitchen) food handling is going to be complicated.

The holiday promises to be warm with Mother Nature throwing in a few fireworks on Sunday. Two good reasons to let Mother Nature provide the entertainment this long weekend.

Susan

## Roth, Susan

---

**From:** Charlene Roise [roise@hessroise.com]  
**Sent:** Wednesday, June 30, 2010 10:04 AM  
**To:** Roth, Susan  
**Cc:** Pate, Linda; 'Stephanie Atwood'  
**Subject:** RE: Priory Visit  
**Attachments:** 100\_2342.JPG

Susan:

That's great! Thanks for inviting Linda to join us. I had showed Natascha some photos of the building this morning and briefly described some of the rehab issues, so she will be a little familiar with it too.

There are good directions at <http://www.stpaulsmonastery.org/9-finding-us/map-directions.html>. We'll be going to the "Tubman Building." The parking lot is to the left as you drive towards the building. (The building is pretty unmistakable; see attached photo; ignore snow.) Take the wood stairs from the parking lot down to the main entry, which is in the lower building adjacent to the housing tower, below the porte cochere. If you have any trouble finding it, my cell phone is 612-747-3040.

Stephanie and I will see you there tomorrow at 1:30—

Charlene

---

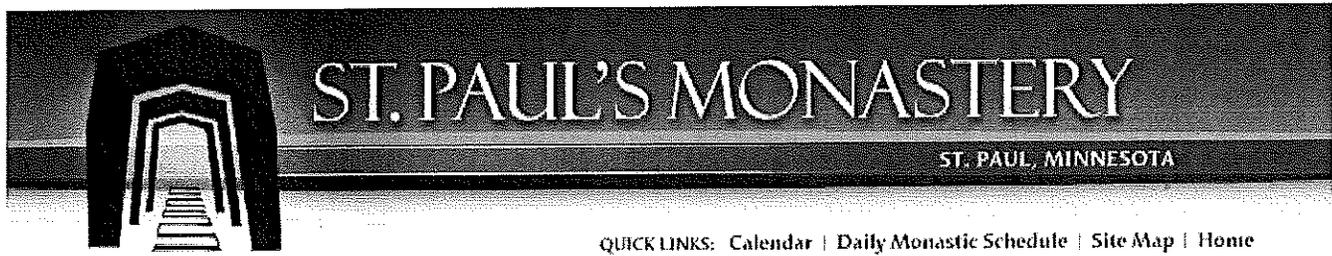
**From:** Roth, Susan [mailto:Susan.Roth@MNHS.ORG]  
**Sent:** Wednesday, June 30, 2010 9:50 AM  
**To:** Charlene Roise  
**Cc:** Pate, Linda  
**Subject:** Priory Visit

Hello Charlene

Sometimes these site visits produce more rehab questions than I feel comfortable handling, so Linda will be joining the tour. Can we meet about 1:30 on Thursday, July 1<sup>st</sup>?

Are there special instructions as to directions and parking? In fact, neither of us are too sure of its location.

Susan



QUICK LINKS: [Calendar](#) | [Daily Monastic Schedule](#) | [Site Map](#) | [Home](#)

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- Oblates
- Development
- Current Events
- Ministry of Mothers Sharing
- Benedictine Retreat & Conference Center
- ILLUMINARE
- Finding Us

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  - > [Map and Directions](#)
  - > [Contact Information](#)

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- [Calendar](#)

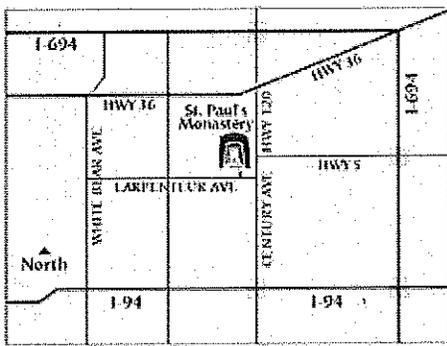
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- [Pray With Us](#)

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- [Home](#)

## FINDING US Map & Directions



**St. Paul's Monastery moved to a new location in Feb. 2009.**

There are four sets of buildings on the campus of St. Paul's Monastery near the corner of Larpenteur and Century Avenues. Events and retreats are hosted at both the new St. Paul's Monastery and Tubman, the Sisters' former monastery. Please be sure to check your destination.

<p><b>St. Paul's Monastery</b> (north side) 2675 Benet Rd St. Paul, MN 55109 651.777.8181</p>	<p><b>Tubman Building</b> (south side) 1725 Monastery Way St. Paul, MN 55109</p>	<p><b>Trail's Edge</b> (east side) along Century</p>	<p><b>Maple Tree Childcare</b> (northwest side) 2625 Benet Rd St. Paul, MN 55109 651.770.0766</p>
---------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------	--------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------

**Note:** these addresses are new as of 2/1/09 and may not yet work with online direction services. The old address for St. Paul's Monastery will get you to Tubman and the Monastery's campus: 2675 Larpenteur Ave E.

**From I-94**  
Take Century Ave (also called Division) exit.  
Go North 3 miles to Larpenteur Avenue.  
Turn left. Monastery Way is the first right. Go straight to get to St. Paul's Monastery, take an immediate left to reach the Tubman building.

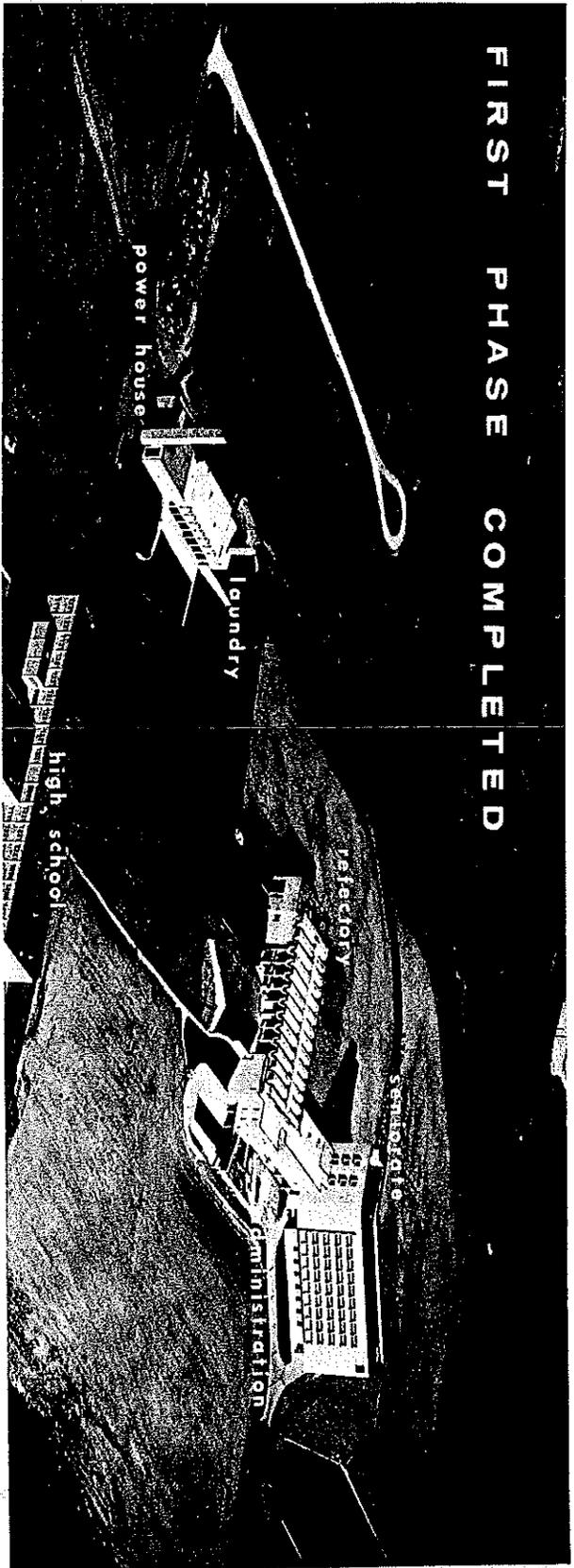
**From I-694**  
Take Century Avenue (Hwy 120) exit.  
Go South 4 miles to Benet Road, just before the light at Larpenteur Avenue.  
Turn right. St. Paul's Monastery is visible on the right. Turn left onto Monastery Way for the Tubman building. Take the second right off of Monastery Way to enter the Tubman parking lot.

**From Hwy 36**  
Take Century Avenue (Hwy 120) exit.  
Go South 3 miles to Benet Road.  
Turn right. St. Paul's Monastery is on the right. Turn left onto Monastery Way for Tubman. Take the last right on Monastery Way to enter the Tubman parking lot.

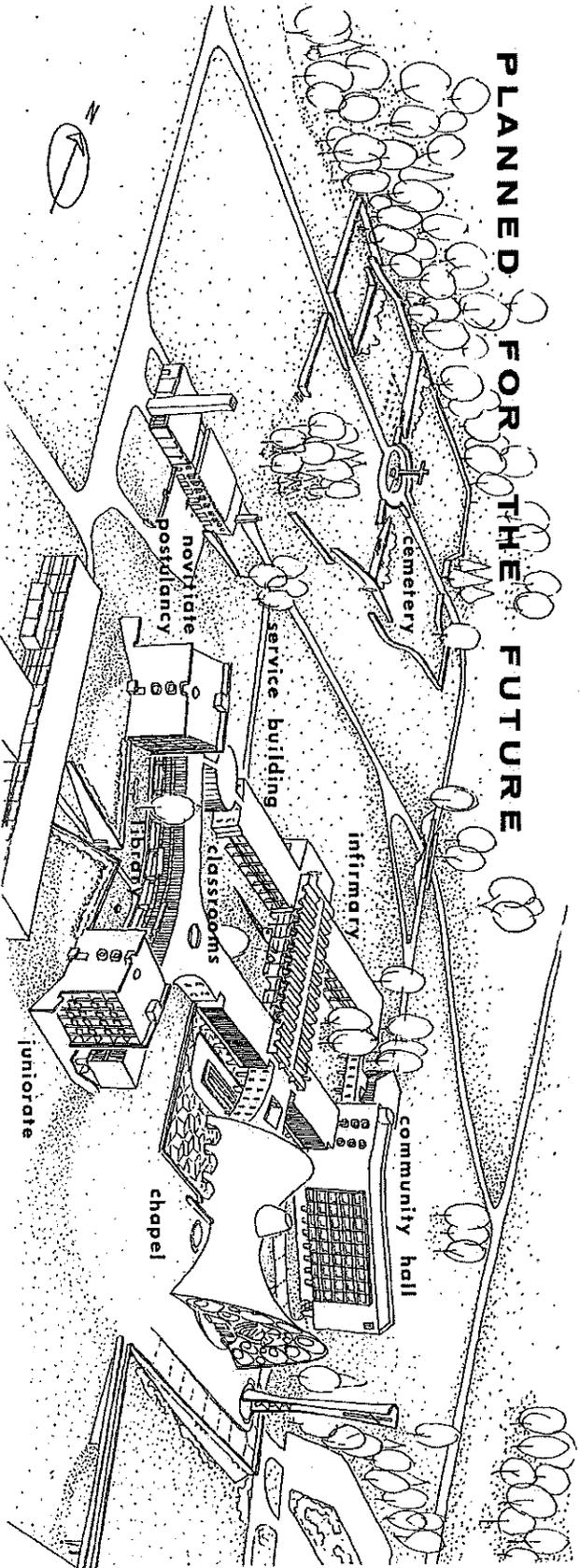
**Parking and Entering the Building**

St. Paul's Monastery

FIRST PHASE COMPLETED



PLANNED FOR THE FUTURE



1. Seniorate

- Ground Floor - Guest and Senior Bed Rooms - Archives
- First " - Seniors' Bed Rooms
- Second " - Infirmary(temporary)
- Third " - High School Faculty Bed Rooms
- Fourth " - Temporary Juniorate
- Fifth " - Temporary Juniorate

2. Administration Wing

- Ground Floor - Parlors
- First " - Administration offices
- Second " - Chapel(temporary)

3. Lobby

- Ground Floor - Entrance
- First " - Library (temporary)
- Second " - Library (balcony)

4. Refectory Wing

- Ground Floor - General Storage
- First Floor - Dining Rooms, Serving Room, Central Supply
- Second Floor - Refectory and Recreation Room

5. Kitchen

- Ground Floor - Mechanical and Electrical Equipment - Storage
- First " - Kitchen Storage, Vegetable Preparation, Dock
- Second " - Kitchen - Postulant's Dining Room

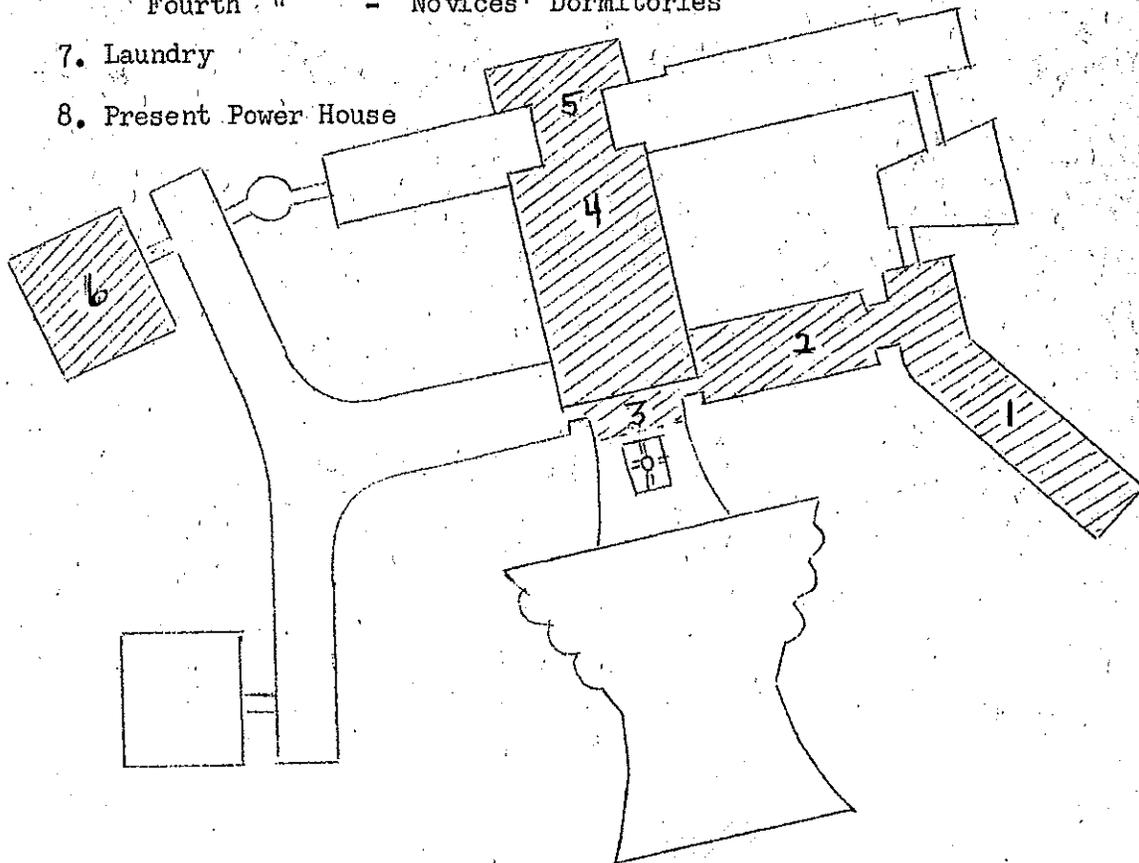


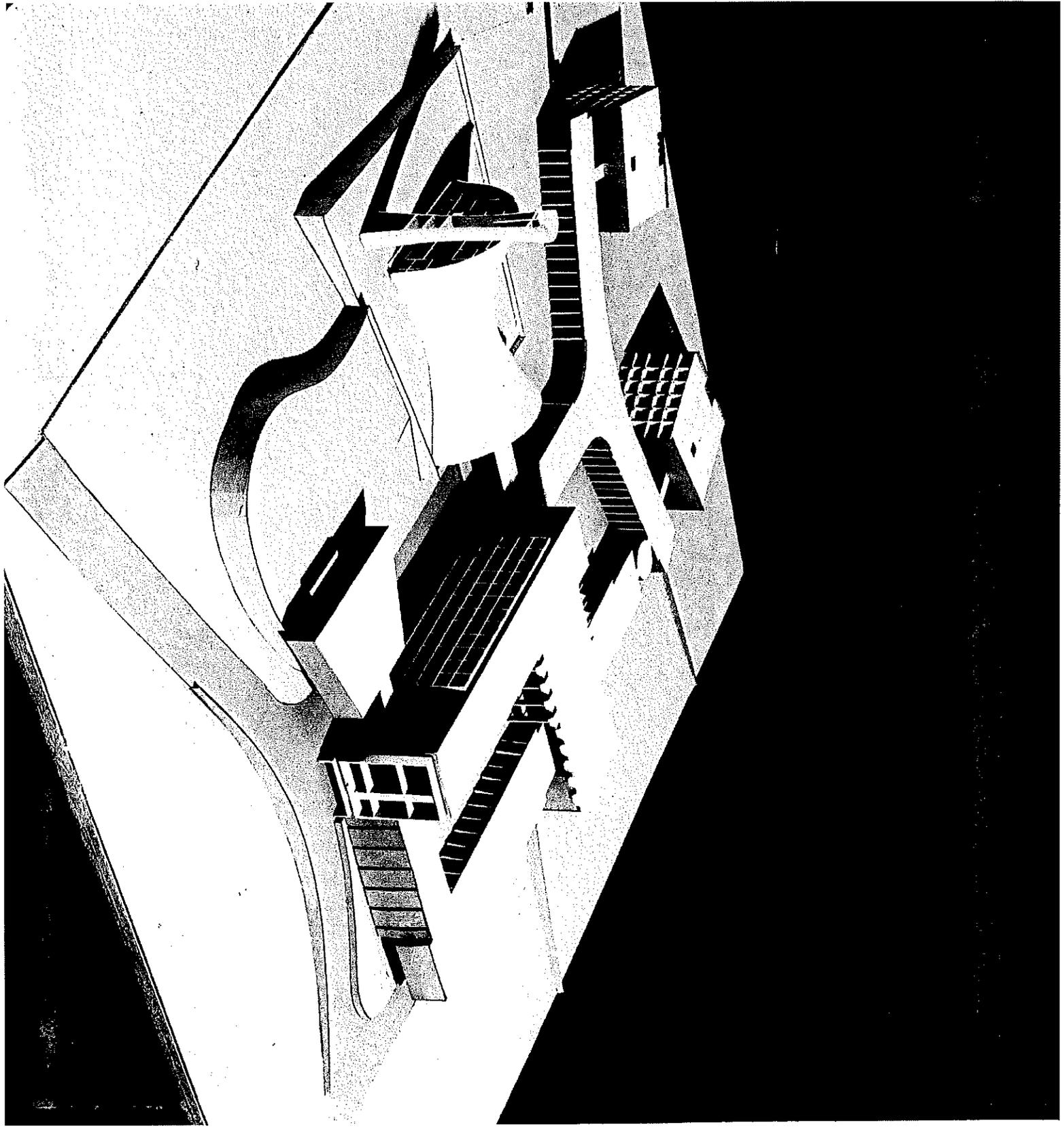
6. Novitiate & Postulancy

- Ground Floor - Classrooms, study room
- First " - Postulants' Dormitories
- Second " - Recreation for Novices and Postulants
- Third " - Study Area, Sewing Room
- Fourth " - Novices' Dormitories

7. Laundry

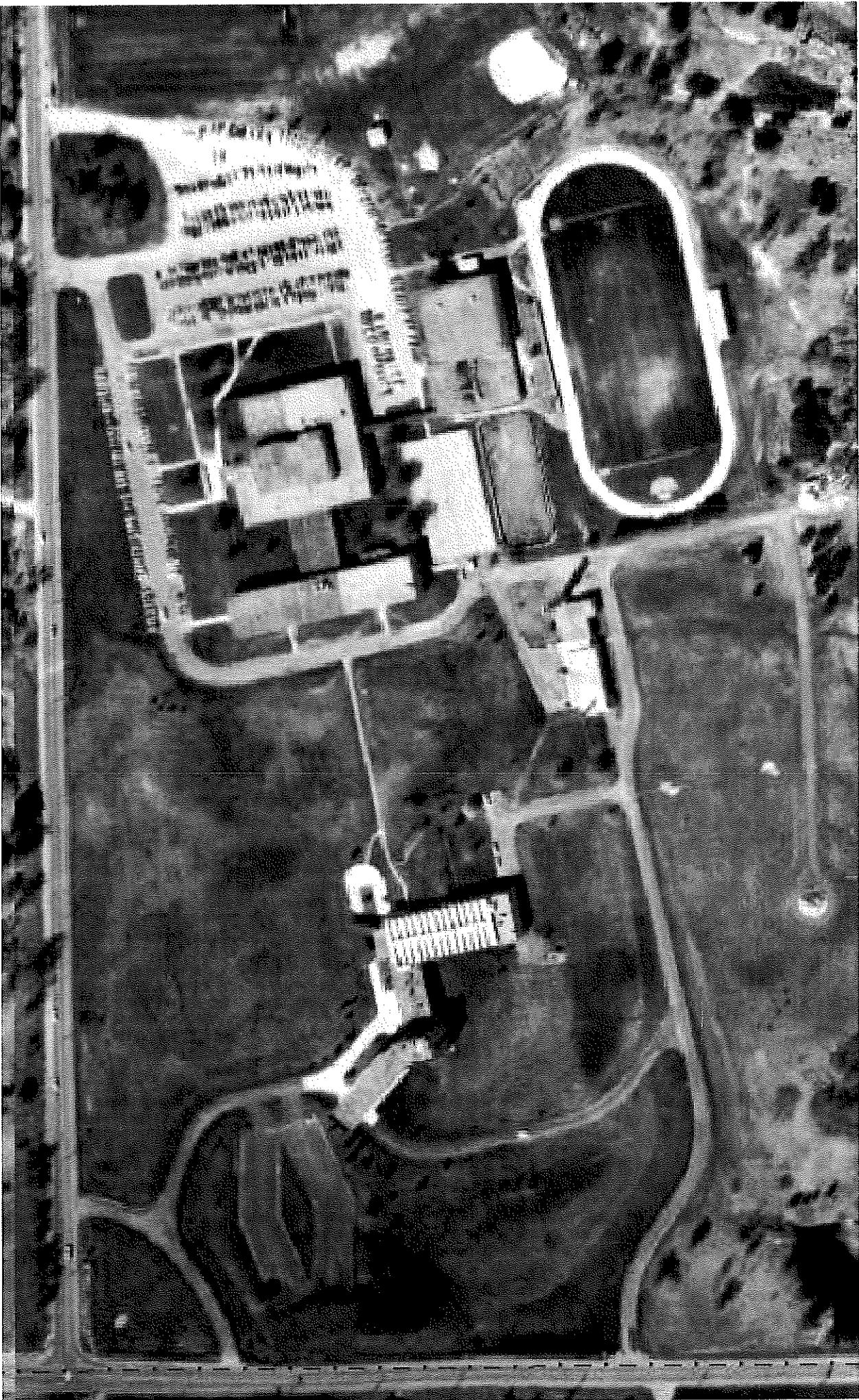
8. Present Power House



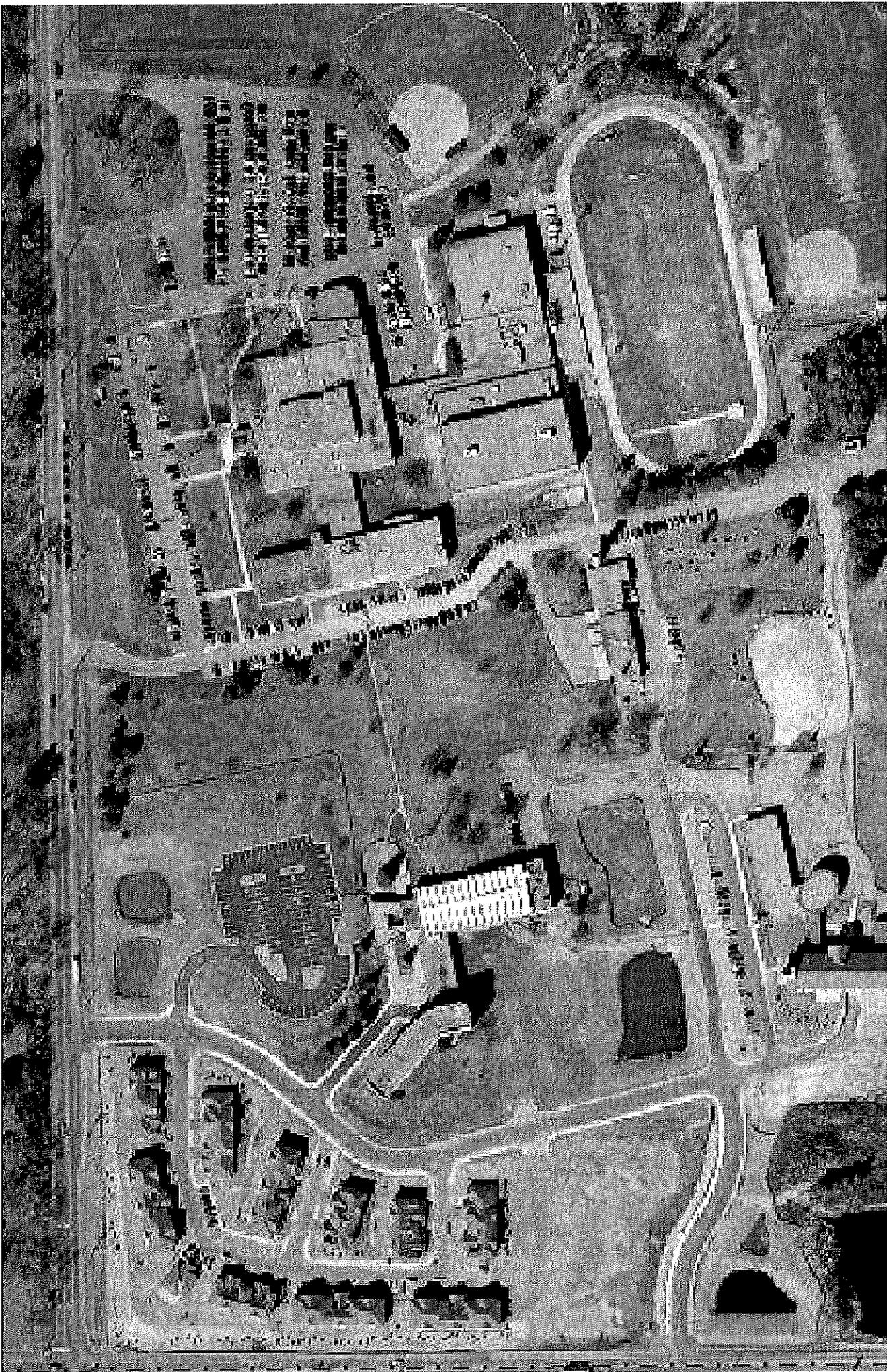




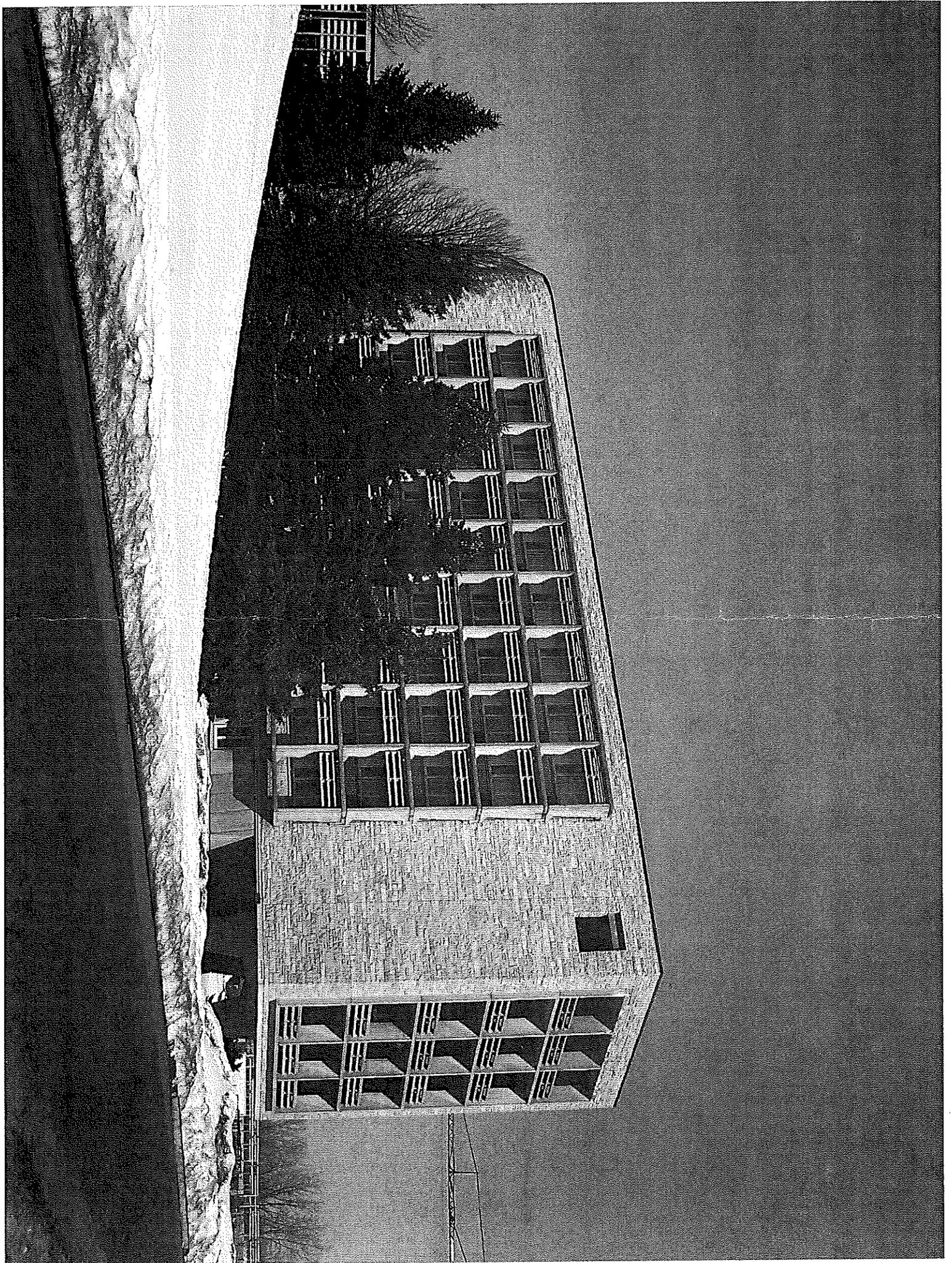
1974 Aerial



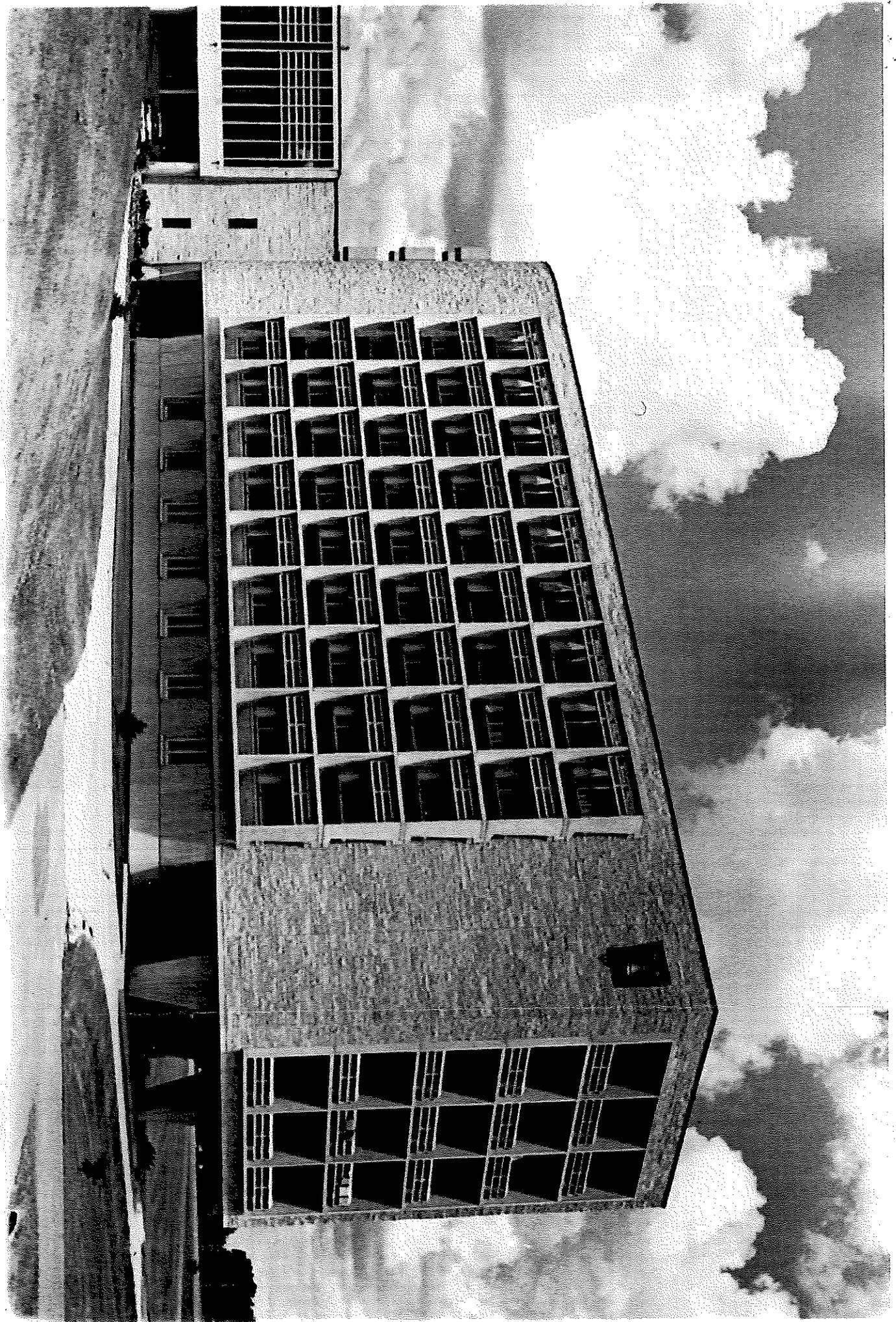
1985 Aerial

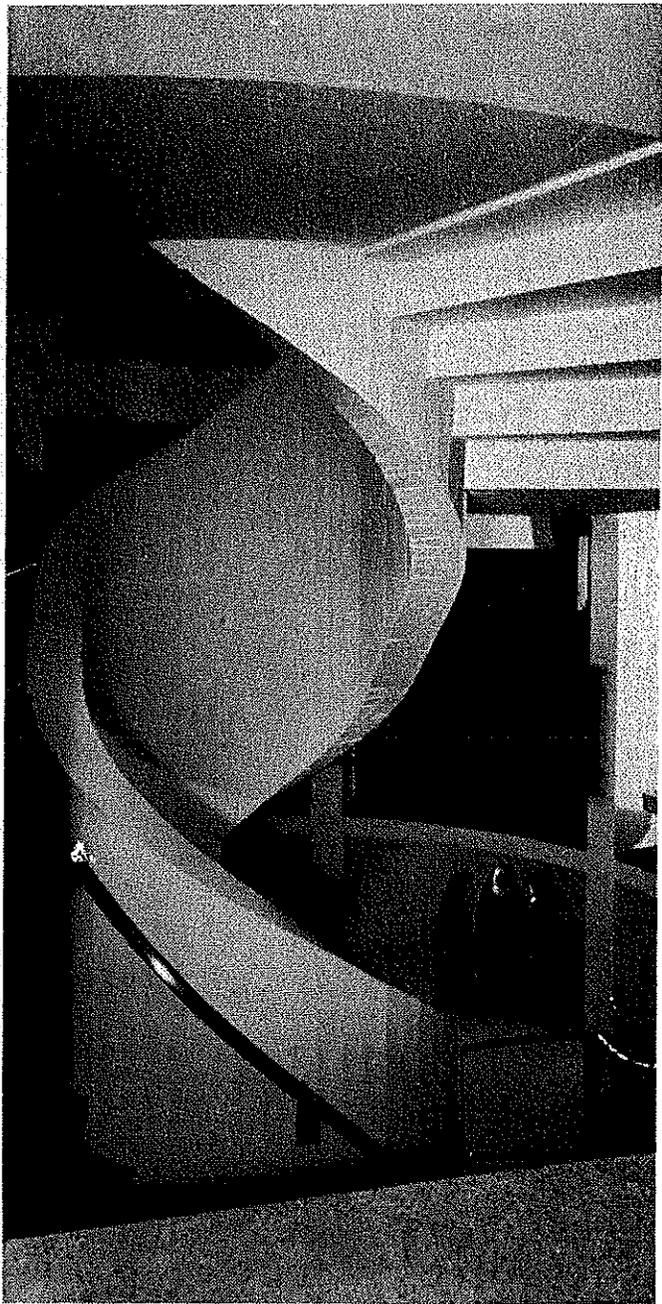


2009 Aerial

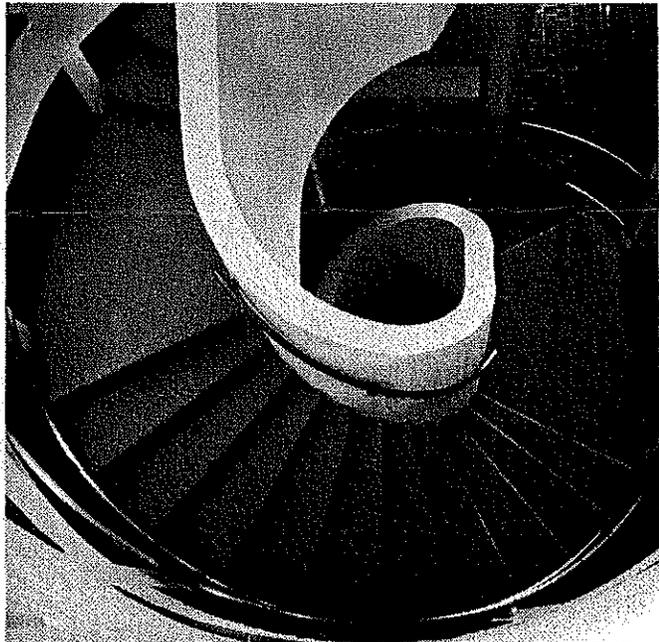




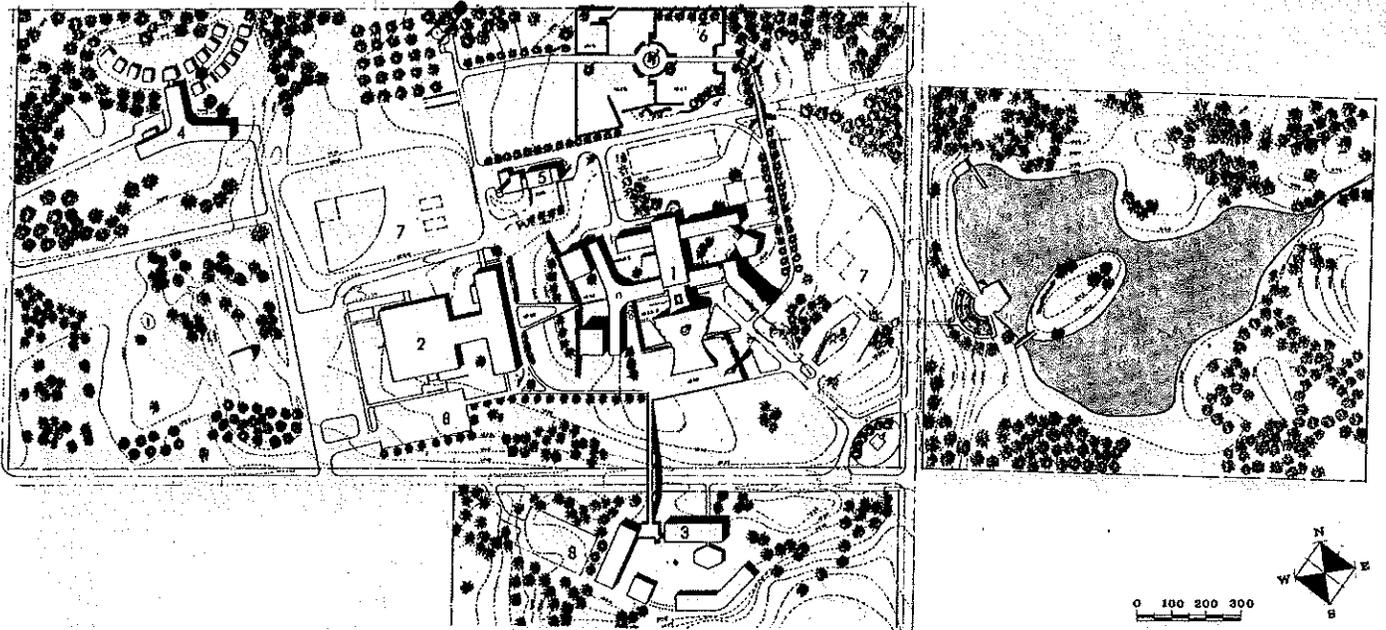




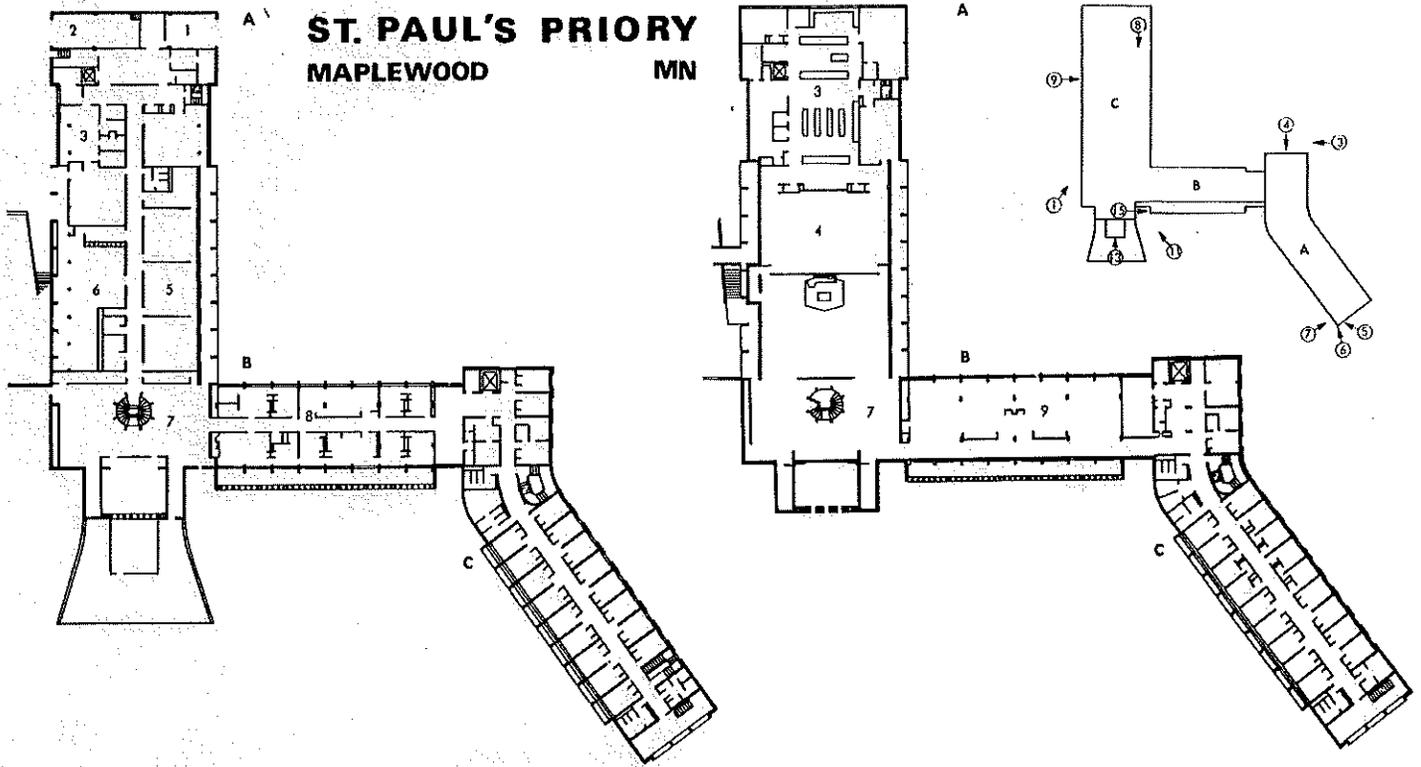
<b>CONSTRUCTION</b>	1964/65
Seniorate Wing	50,286 sq. ft.
Administration Wing	12,375 sq. ft.
Refectory Wing	50,744 sq. ft.
Total area	113,405 sq. ft.
General Contract	\$1,945,045
Mechanical Contract	359,450
Electrical Contract	161,410



**ST. PAUL'S PRIORY**  
Maplewood, Minnesota

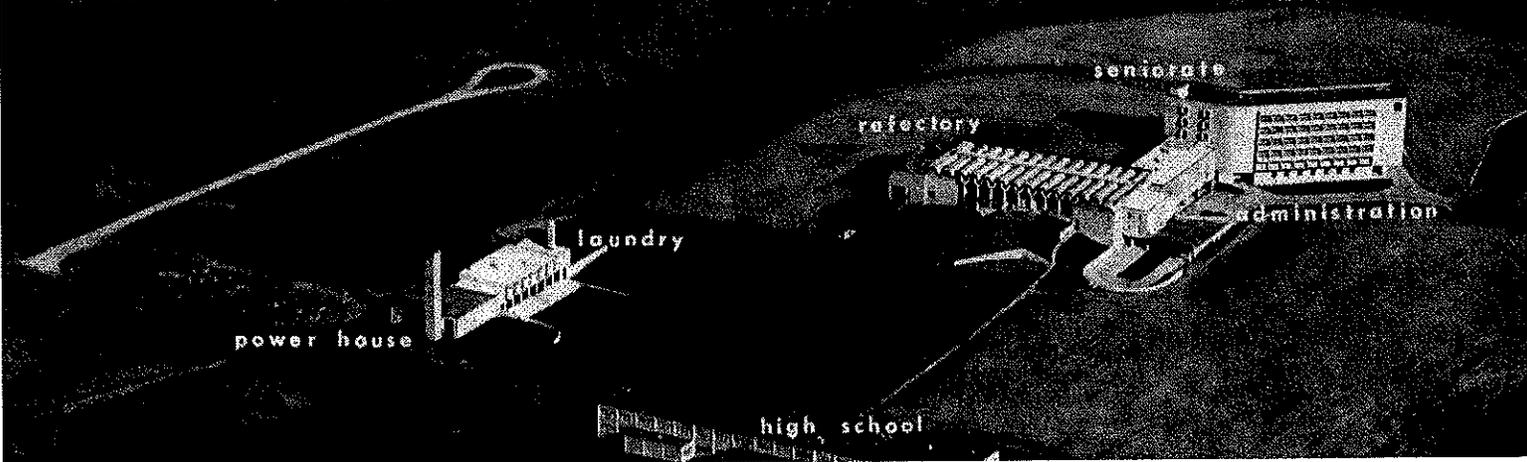


**ST. PAUL'S PRIORY**  
**MAPLEWOOD MN**



**FIRST PHASE COMPLETED**

**1965**











# Maplewood Heritage Award

The Maplewood Heritage Award recognizes an individual who has significantly contributed to preservation of Maplewood history or historic sites through research, preservation, or education and outreach.



## Eligibility

Any person who has contributed to preservation of Maplewood history or historic sites is eligible, whether they are a Maplewood resident or not. *Not eligible are: elected city officials, current Heritage Preservation Commission members, current City staff members.*

### Nominee's Name

### Nominee's Address

### Nominee's Phone

### Nominee's Email

### Narrative\*

Please describe nominee's contributions to preserving Maplewood history or Maplewood historic sites. If appropriate, indicate other contributions to the City (such as service on a commission).

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### Name\*

### Telephone\*

### Email\*